



City of Charleston

Design Review Board

November 7, 2016

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

Agenda Item 1:

Maybank Highway at Promenade Vista Street

Request Conceptual approval for new construction of a multi-family development as per documentation submitted.





view facing northeast



private waterfront residence, north side of Maybank

CONTEXT PHOTOS

DRB MEETING 10.17.16
4



the Standard Apartments, south side of Maybank—directly adjacent to Project Site



the Standard Apartments, south side of Maybank—directly adjacent to Project Site

CONTEXT PHOTOS



view of site toward southwest



commercial shopping center—directly adjacent to project site

CONTEXT PHOTOS

DRB MEETING 10.17.16
12

APPLICANT PRESENTATION

MAYBANK APARTMENTS CONTEXT PHOTOS



commercial shopping center, south side of Maybank



commercial development, north side of Maybank



commercial development, north side of Maybank



commercial development, north side of Maybank



entry to private waterfront residence, north side of Maybank



entry to private waterfront residence, north side of Maybank



view facing northeast



private waterfront residence, north side of Maybank



commercial shopping center, north side of Maybank



commercial shopping center, north side of Maybank



commercial structure, north side of Maybank



commercial structure, south side of Maybank



auto repair shop, south side of Maybank



dry cleaners and self-storage structures, south side of Maybank



commercial shopping center, south side of Maybank



commercial structure, south side of Maybank



commercial structure, south side of Maybank



industrial structures, south side of Maybank



gas station, south side of Maybank



church, south side of Maybank



the Standard Apartments, south side of Maybank—directly adjacent to Project Site



the Standard Apartments, south side of Maybank—directly adjacent to Project Site



view of site toward southwest



commercial shopping center—directly adjacent to project site



commercial shopping center—directly adjacent to project site



commercial shopping center—directly adjacent to project site



vernacular structure (further west on Maybank)

MAYBANK PLANNED UNIT DEVELOPMENT

CHARLESTON, SOUTH CAROLINA

INDEX:

1. COVER PAGE
2. SITE CONTEXT
3. SITE PLAN - MAYBANK HIGHWAY
4. RENDERED MAYBANK BUILDING A & B - LEVEL 1 - MAYBANK HWY
5. MAYBANK BUILDING A PLANS
6. MAYBANK BUILDING B PLANS
7. MAYBANK BUILDING A & B - OVERALL ELEVATIONS
8. MAYBANK BUILDING A - NORTH ELEVATION - MAYBANK HIGHWAY
9. MAYBANK BUILDING A - SOUTH ELEVATION - MAYBANK HIGHWAY
10. MAYBANK BUILDING A - EAST & WEST ELEVATIONS
11. MAYBANK BUILDING B - NORTH ELEVATION - MAYBANK HIGHWAY
12. MAYBANK BUILDING B - SOUTH ELEVATION - REAR
13. MAYBANK BUILDING B - EAST & WEST ELEVATIONS
14. SITE PLAN - MAYBANK HIGHWAY
15. RENDERED MAYBANK REAR BUILDING - LEVEL 1
16. MAYBANK REAR BUILDING - LEVEL 1
17. MAYBANK REAR BUILDING - LEVEL 2 THRU LEVEL 4
18. MAYBANK REAR BUILDING - OVERALL NORTH ELEVATION
19. MAYBANK REAR BUILDING - NORTH ELEVATION - PART A
20. MAYBANK REAR BUILDING - NORTH ELEVATION - TREE SAFE AREA - PART B
21. MAYBANK REAR BUILDING - NORTH ELEVATION - PART C
22. MAYBANK REAR BUILDING - OVERALL EAST ELEVATION
23. MAYBANK REAR BUILDING - EAST ELEVATION - PART A
24. MAYBANK REAR BUILDING - EAST ELEVATION - PART B
25. MAYBANK REAR BUILDING - OVERALL WEST ELEVATION
26. MAYBANK REAR BUILDING - WEST ELEVATION - PART A
27. MAYBANK REAR BUILDING - WEST ELEVATION - PART B
28. MAYBANK REAR BUILDING - OVERALL SOUTH ELEVATION
29. MAYBANK REAR BUILDING - SOUTH ELEVATION - PART A
30. MAYBANK REAR BUILDING - SOUTH ELEVATION - PART B
31. MAYBANK REAR BUILDING - OVERALL COURTYARD WEST ELEVATION
32. MAYBANK REAR BUILDING - COURTYARD WEST - PART A & B
33. MAYBANK REAR BUILDING - OVERALL COURTYARD EAST ELEVATION
34. MAYBANK REAR BUILDING - COURTYARD EAST - PART A & B
35. MAYBANK HIGHWAY- OVERALL SITE ELEVATION
36. MAYBANK HIGHWAY NORTHWEST CORNER & NORTHEAST CORNER PERSPECTIVES
37. MAYBANK BUILDING A - CORNER ELEVATION
38. MAYBANK BUILDING A - CORNER SECTION
39. MAYBANK REAR BUILDING - CORNER ELEVATION
40. MAYBANK REAR BUILDING - CORNER SECTION

CONCEPTUAL DRB APPROVAL
NOVEMBER 7TH, 2016



CORE PROPERTY
CAPITAL

BELLO | GARRIS
ARCHITECTS





ACROSS MAYBANK HIGHWAY
102 WAPPOO CREEK DRIVE - OFFICE



ADJACENT TO WEST SIDE OF SITE
THE STANDARD AT JAMES ISLAND - APARTMENTS



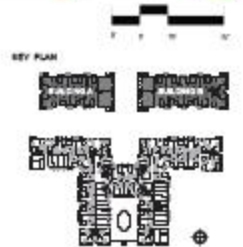
ADJACENT TO EAST SIDE OF SITE
JAMES ISLAND CLEANERS - JAMES ISLAND CENTER - RETAIL/COMMERCIAL

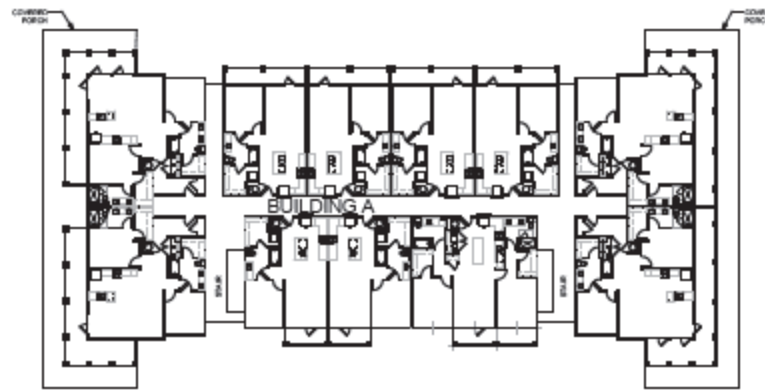


SITE PLAN - MAYBANK

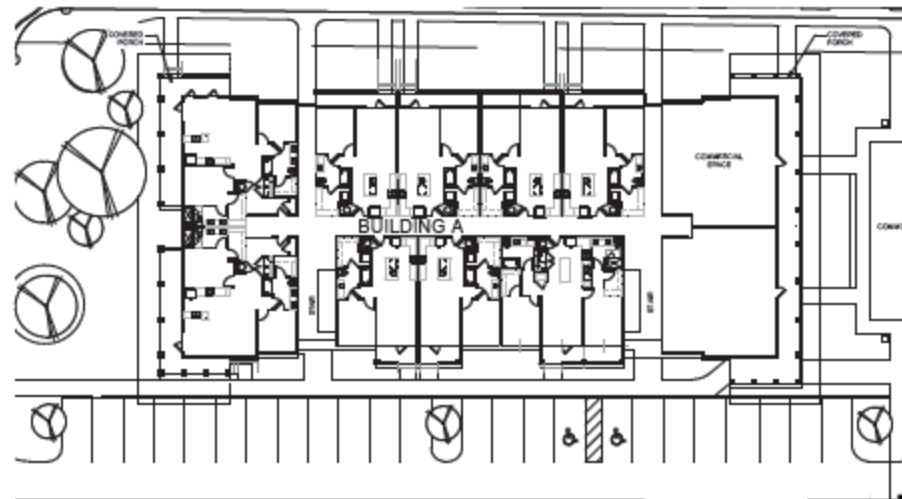


MAYBANK BUILDING A & B - LEVEL 1 - MAYBANK HWY
 1/8" = 1'-0"



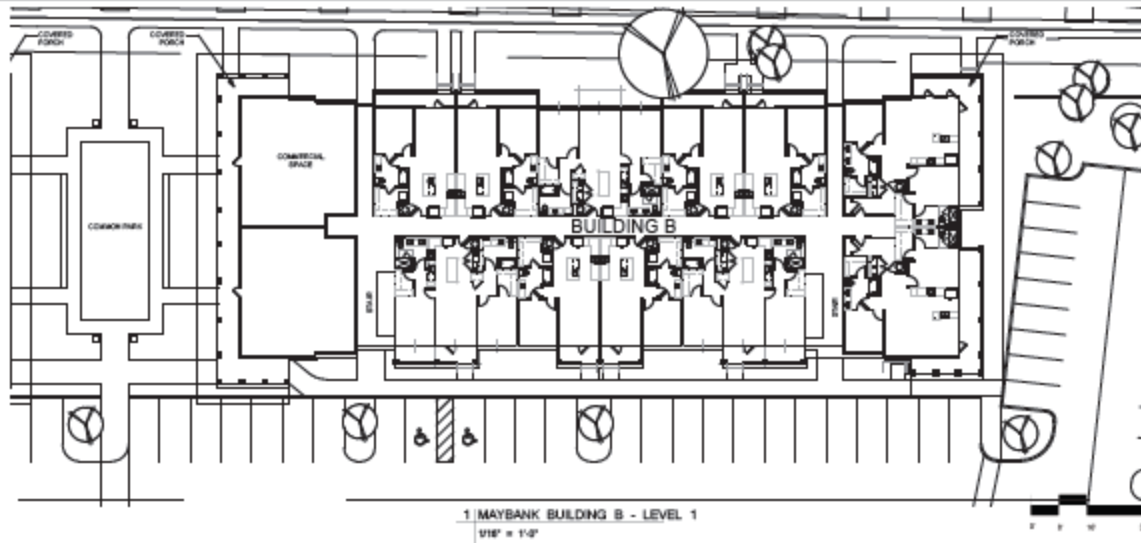
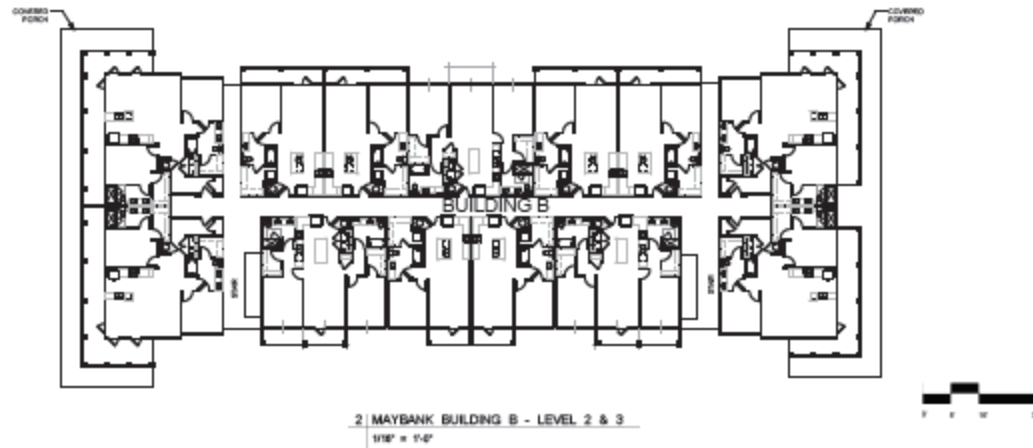


2 | MAYBANK BUILDING A - LEVEL 2 & 3
1/8" = 1'-0"



1 | MAYBANK BUILDING A - LEVEL 1
1/8" = 1'-0"







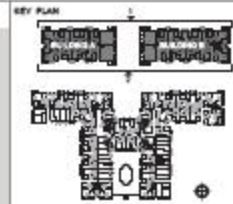
1 MAYBANK BUILDING A & B - OVERALL NORTH ELEVATION - MAYBANK HWY



2 MAYBANK BUILDING A & B - OVERALL SOUTH ELEVATION - REAR

ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
CFB CEMENTITIOUS FASCIA BOARD	7.25"-11.25" SMOOTH - PAINT FINISH		
CLP CEMENTITIOUS LAP SIDING	8.25" SMOOTH - PAINT FINISH		
CTB CEMENTITIOUS TRIM BOARD	7.25"-11.25" SMOOTH - PAINT FINISH		
GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREPARED GRAY		





1 MAYBANK BUILDING A - NORTH ELEVATION - MAYBANK HIGHWAY



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH VW 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
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GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK BUILDING A - SOUTH ELEVATION - REAR



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH VW 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
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HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREFINISHED GRAY		

KEY PLAN





1 MAYBANK BUILDING A - WEST ELEVATION



2 MAYBANK BUILDING A - EAST ELEVATION



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MANUF. T&G
CBR COMPOSITE BRACKETS	PAINT FINISH		
CFB CEMENTITIOUS FASCIA BOARD	7.35"-11.25" SMOOTH - PAINT FINISH		
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GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RNR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK BUILDING B - NORTH ELEVATION - MAYBANK HIGHWAY



ELEVATION LEGEND

BRI BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CBG CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
CFB CEMENTITIOUS FASCIA BOARD	7.35"-11.25" SMOOTH - PAINT FINISH		
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SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREFINISHED GRAY		

KEY PLAN





1 MAYBANK BUILDING B - SOUTH ELEVATION - REAR



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
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GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK BUILDING B - WEST ELEVATION



2 MAYBANK BUILDING B - EAST ELEVATION



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH VW 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MANUF. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
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SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREPARED GRAY		

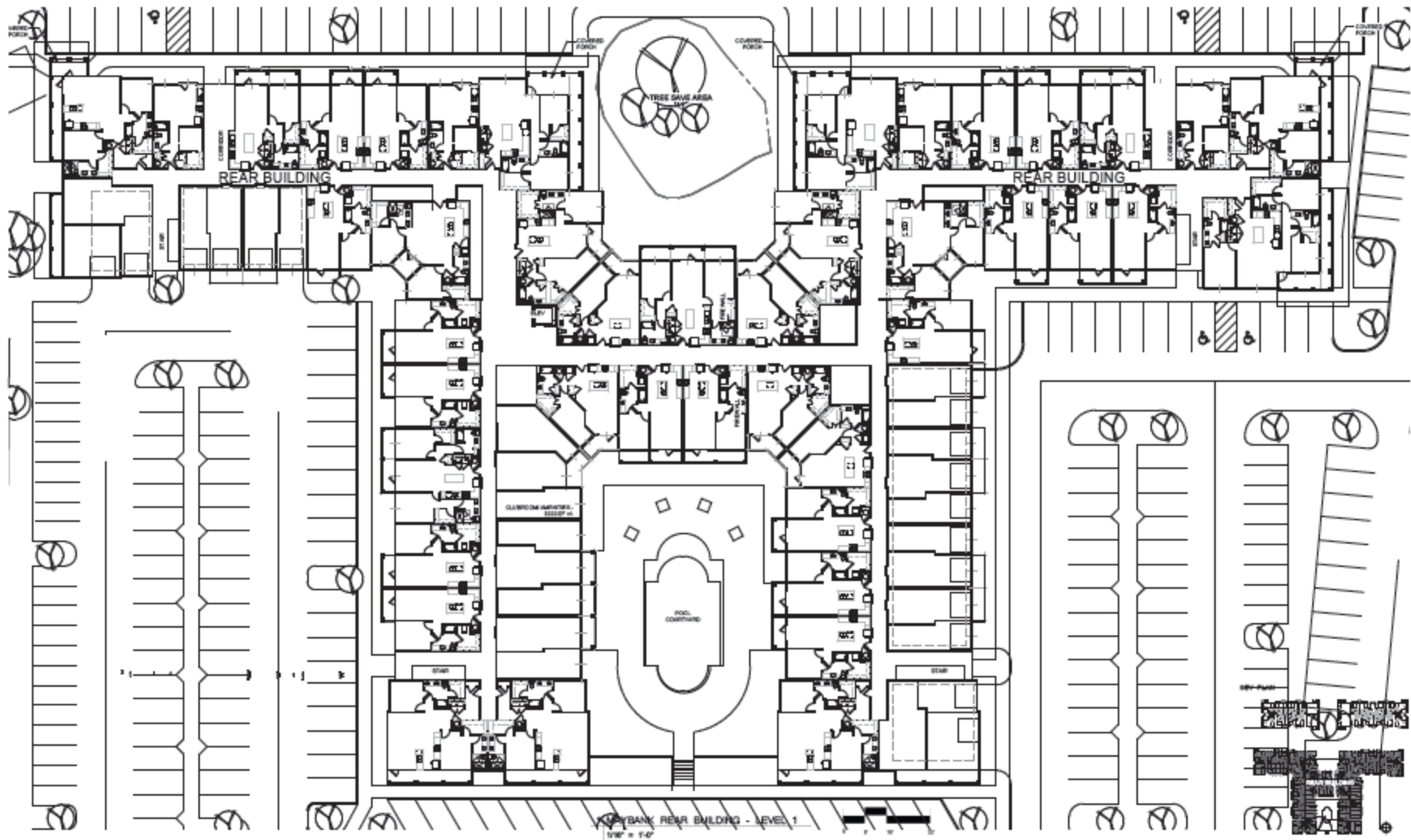
KEY PLAN

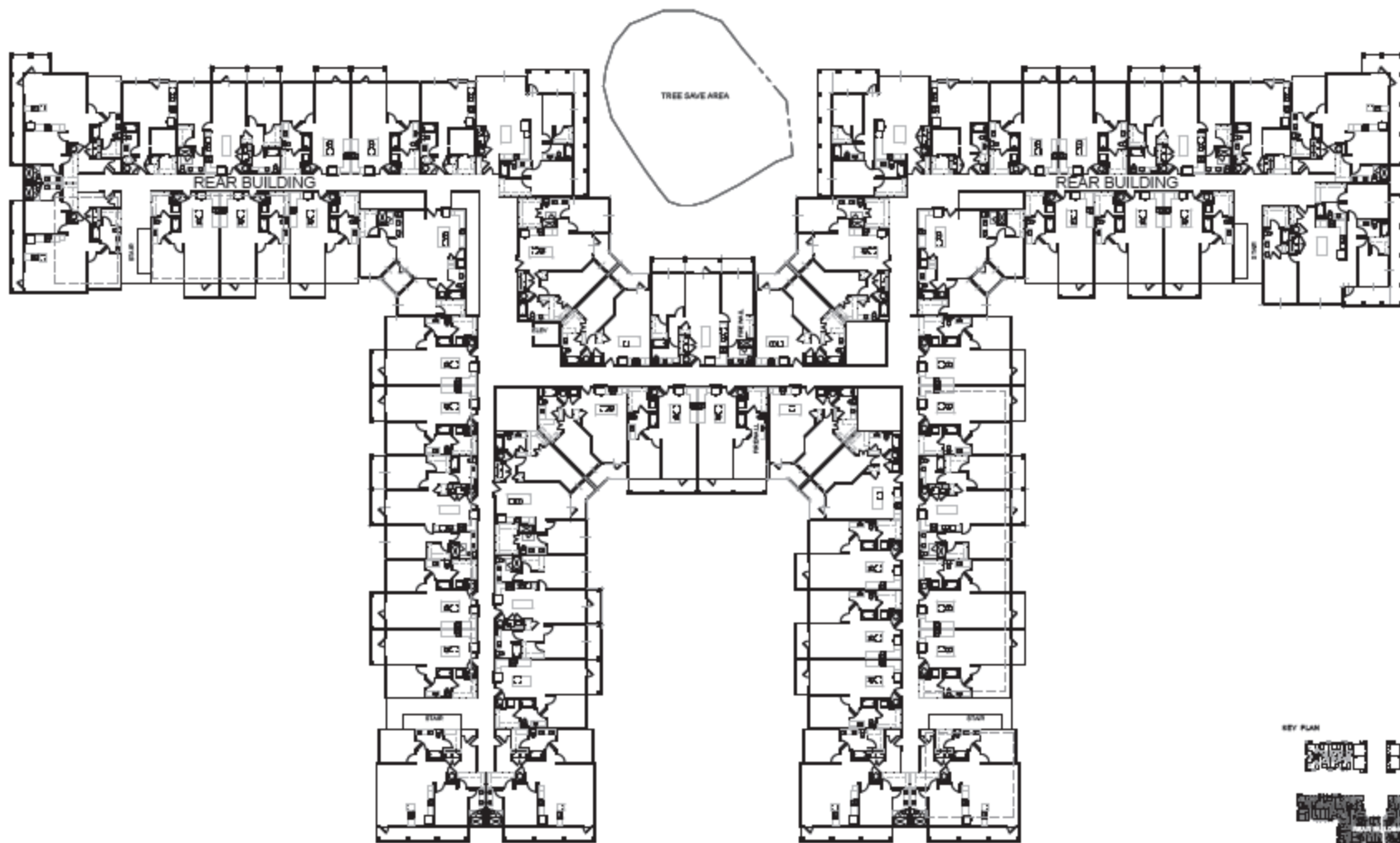




SITE PLAN - MAYBANK







1 | MAYBANK REAR BUILDING - LEVEL 2 THRU LEVEL 4

VP = 1/4"

KEY PLAN



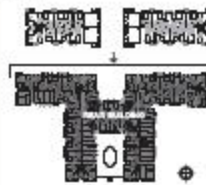


1 MAYBANK REAR BUILDING - OVERALL NORTH ELEVATION

ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
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GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREFINISHED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - NORTH ELEVATION - PART A



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
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GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RNR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





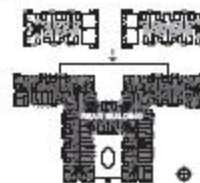
1 MAYBANK REAR BUILDING - NORTH ELEVATION - TREE SAFE AREA - PART B



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
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GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RNR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - NORTH ELEVATION - PART C



ELEVATION LEGEND

BRI BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CBG CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
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GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - OVERALL EAST ELEVATION



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MANUF. T&G
CBR COMPOSITE BRACKETS	PAINT FINISH		
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HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RNR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - EAST ELEVATION - PART A



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. T80
CBR COMPOSITE BRACKETS	PAINT FINISH		
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HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RNR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - EAST ELEVATION - PART B



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MANUF. T&G
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RNR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





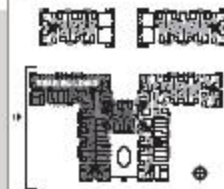
1 MAYBANK REAR BUILDING - OVERALL WEST ELEVATION



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MANUF. T&G
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RMR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - WEST ELEVATION - PART A



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CBG CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
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SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - WEST ELEVATION - PART B



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
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KEY PLAN



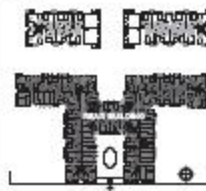


1 MAYBANK REAR BUILDING - OVERALL SOUTH ELEVATION

ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
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KEY PLAN





1 MAYBANK REAR BUILDING - SOUTH ELEVATION - PART A



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
CFB CEMENTITIOUS FASCIA BOARD	7.35"-11.25" SMOOTH - PAINT FINISH		
CLP CEMENTITIOUS LAP SIDING	8.25" SMOOTH - PAINT FINISH		
CTB CEMENTITIOUS TRIM BOARD	7.35"-11.25" SMOOTH - PAINT FINISH		
GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - SOUTH ELEVATION - PART B



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
CFB CEMENTITIOUS FASCIA BOARD	7.25"-11.25" SMOOTH - PAINT FINISH		
CLP CEMENTITIOUS LAP SIDING	8.25" SMOOTH - PAINT FINISH		
CTB CEMENTITIOUS TRIM BOARD	7.25"-11.25" SMOOTH - PAINT FINISH		
GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - OVERALL COURTYARD WEST ELEVATION



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MANUF. T&G
CBR COMPOSITE BRACKETS	PAINT FINISH		
CFB CEMENTITIOUS FASCIA BOARD	7.35"-11.25" SMOOTH - PAINT FINISH		
CLP CEMENTITIOUS LAP SIDING	8.35" SMOOTH - PAINT FINISH		
CTB CEMENTITIOUS TRIM BOARD	7.35"-11.25" SMOOTH - PAINT FINISH		
GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RMR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - COURTYARD WEST - PART A



2 MAYBANK REAR BUILDING - COURTYARD WEST - PART B



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CBG CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
CFB CEMENTITIOUS FASCIA BOARD	7.25"-11.25" SMOOTH - PAINT FINISH		
CLP CEMENTITIOUS LAP SIDING	8.25" SMOOTH - PAINT FINISH		
CTB CEMENTITIOUS TRIM BOARD	7.25"-11.25" SMOOTH - PAINT FINISH		
GRD GARAGE DOOR	FIBERGLASS - SMOOTH		
HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RNR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN



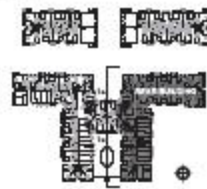


1 MAYBANK REAR BUILDING - OVERALL COURTYARD EAST ELEVATION

ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
CFB CEMENTITIOUS FASCIA BOARD	7.35"-11.25" SMOOTH - PAINT FINISH		
CLP CEMENTITIOUS LAP SIDING	8.35" SMOOTH - PAINT FINISH		
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HR1 STEEL GUARDRAIL	PICKET STYLE - PAINT FINISH		
SHR ASPHALT SHINGLE ROOFING	ARCHITECTURAL SHINGLES		
RNR RUBBED METAL ROOF	PREFINISHED GRAY		

KEY PLAN





1 MAYBANK REAR BUILDING - COURTYARD EAST - PART A



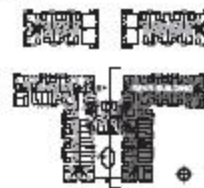
2 MAYBANK REAR BUILDING - COURTYARD EAST - PART B



ELEVATION LEGEND

BR1 BRICK	MODULAR SIZE	STR STOREFRONT	1" CLEAR GLASS
CB8 CEMENTITIOUS BOARD AND BATTEN	SMOOTH W/ 2" BATTENS - PAINT FINISH	WDR DOUBLE HUNG WINDOW	MAKUP. TSD
CBR COMPOSITE BRACKETS	PAINT FINISH		
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RNR RUBBED METAL ROOF	PREPARED GRAY		

KEY PLAN

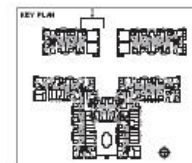




1 | MAYBANK HIGHWAY- OVERALL SITE ELEVATION



1 | MAYBANK BUILDING A - CORNER ELEVATION



CONCEPTUAL DRB APPROVAL
NOVEMBER 07, 2016

dwell design studio | BELLO GARRIS ARCHITECTS

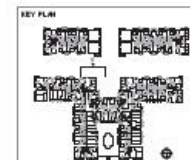
MAYBANK PLANNED UNIT DEVELOPMENT
CHARLESTON, SOUTH CAROLINA



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1 MAYBANK PEAR BUILDING - CORNER ELEVATION



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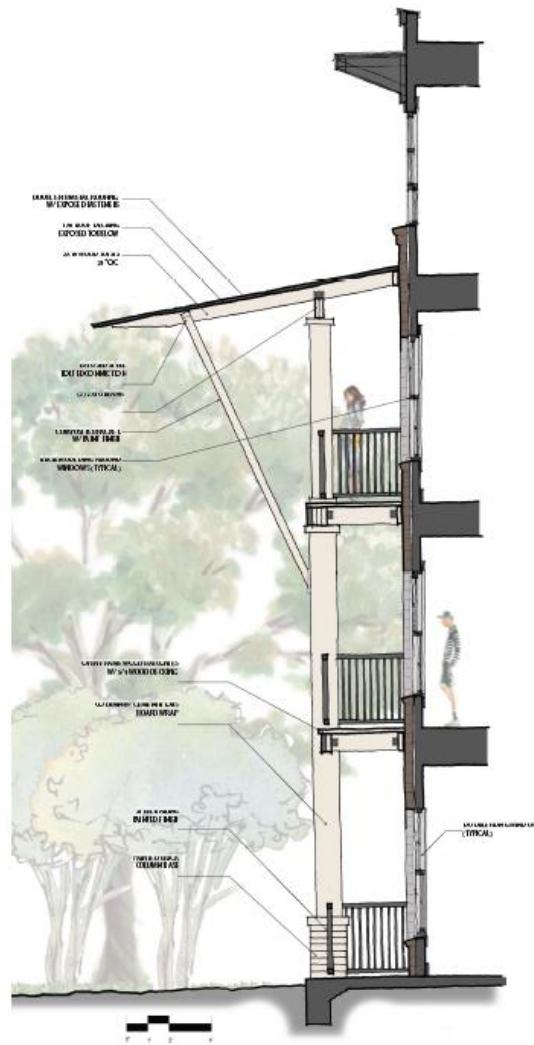
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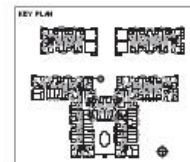
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39



1 MAYBANK PEAR BUILDING - CORNER SECTION



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CHARLESTON, SOUTH CAROLINA

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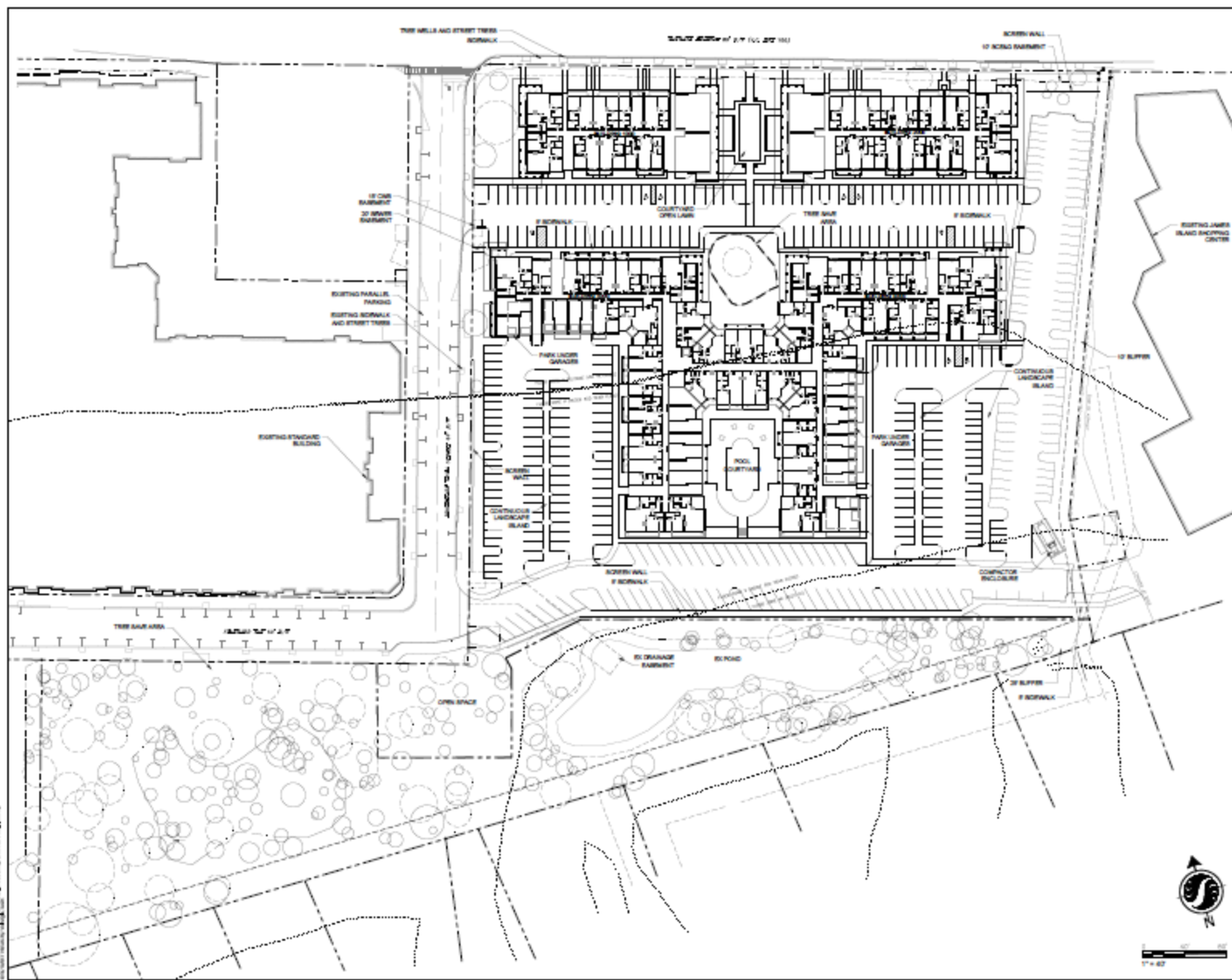


Legend

Revision:	By	Appr.	7/1/2012
Completion, Closeout/As	By	Appr.	11/1/12
Issued	By	Appr.	7/1/2012
Return	By	Appr.	11/1/12
Revised	By	Appr.	7/1/2012

CH2M Project
 CORE PROPERTY CAPITAL
 MAYBANK PUD
 CITY OF CHARLESTON, SC
 Title
 CONCEPTUAL SITE PLAN

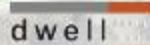
Project No. 178425676	Scale 1"=40'
Growing No.	Sheet of 0





CONCEPTUAL LANDSCAPE PLAN MAYBANK PLANNED UNIT DEVELOPMENT

SCALE: 1"=40'-0"



JAMES ISLAND, SC
OCTOBER 2016



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Page 408

Category	Jan	April	Winter
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CORE PROPERTY CAPITAL

MAYBLANE P.D.

CITY OF CHARLESTON, SC

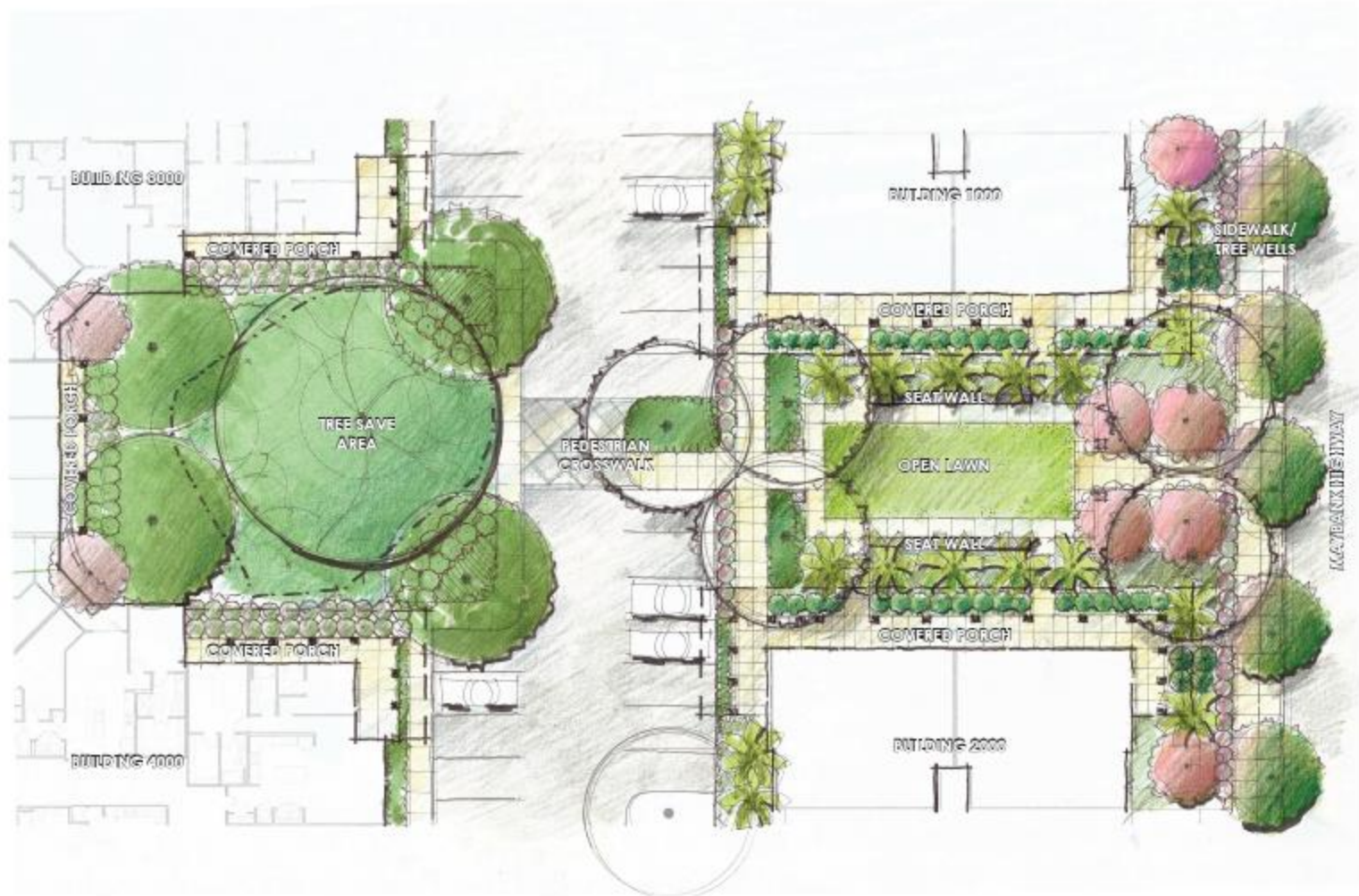


Project No.:	Sc:
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Crowing No.	Shawl	Bushion
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10

GIANTY TREE						
	LIVE OAK	BLACK GUM	BLACK TUPELO	CHINESE ELM	BURSERIA OAK	PALM
SUPRE PLANTING						
	AMERICAN HOLLY	BALD CYPRESS	DAWSON HOLLY	NORTHERN MAGNOLIA		
UNDERSTORY TREE						
	SWEETBAY MAGNOLIA	DWARF MYRTLE	EASTERN REDBUD			
LARGE SHRUB						
	VIBURNUM	WAX MYRTLE	LIQUORICE			
MEDIUM SHRUB						
	LOROPETALUM	KNOCKOUT ROSE	HYDRANGEA	AFRICAN IRIS	CAMELLIA	FATISIA
SMALL SHRUB						
	DWARF YUCCA	BICOLOR AZALEA	DWARF PITTOSPORUM	SOURGRASS		
ORNAMENTAL GRASS						
	PINK WOOLLY GRASS	BAMBOO GRASS	CORD GRASS			
GROUND COVER						
	FERNS	RUDBECKIA	PURPUREA GIANT LIRIOD	AFRICAN JASMINE	VARIEGATED GINGER	



CONCEPTUAL LANDSCAPE

MAYBANK PLANNED UNIT DEVELOPMENT

SCALE: 1"=10'-0"



JAMES ISLAND, SC
OCTOBER 2016



CORE PROPERTY
CAPITAL

BELLO | GARRIS
ARCHITECTS



Agenda Item 2:

Island Park Drive at Central Island Street

**Request Preliminary approval for new construction of a mixed use building
as per documentation submitted.**



CONTEXT MAP



1 VIEW NORTH ACROSS ISLAND PARK DRIVE



3 VIEW SOUTH TO POND FROM SITE



2 VIEW NORTH ALONG CENTRAL ISLAND STREET



4 VIEW EAST ALONG ISLAND PARK DRIVE

CONTEXT PHOTOS



CONTEXT PHOTOS

APPLICANT PRESENTATION

PROJECT INFORMATION

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electrical engineer

DAVID WILLS
dwills@daginc.com

DRAWING INDEX

rev. date sheet no. sheet title

10.1.16	ADD	115	REVISION
10.1.16	CS	02	1. SITE PLAN
10.1.16	CS	03	1. SITE PLAN
10.1.16	CS	04	1. SITE PLAN
10.1.16	CS	05	1. SITE PLAN
10.1.16	CS	06	1. SITE PLAN
10.1.16	CS	07	1. SITE PLAN
10.1.16	CS	08	1. SITE PLAN
10.1.16	CS	09	1. SITE PLAN
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10.1.16	CS	98	1. SITE PLAN
10.1.16	CS	99	1. SITE PLAN
10.1.16	CS	100	1. SITE PLAN

Preliminary Submittal for City of Charleston DRB

submittal date: October 5, 2016
meeting date: October 17, 2016



SMHa project no: 1613.00



DANIEL ISLAND SQUARE - PHASE I
DANIEL ISLAND PERFORMING ARTS CENTER
MULTI-USE DEVELOPMENT
DANIEL ISLAND, SOUTH CAROLINA

DATE: 10/15/2014
 PROJECT: DANIEL ISLAND SQUARE
 SHEET: 16-133

SYMBOL	DESCRIPTION
[Symbol]	EXISTING PROPERTY LINE
[Symbol]	PROPOSED PROPERTY LINE
[Symbol]	EXISTING EASEMENT
[Symbol]	PROPOSED EASEMENT
[Symbol]	EXISTING DRIVEWAY
[Symbol]	PROPOSED DRIVEWAY
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING FENCE
[Symbol]	PROPOSED FENCE

NOTES:

- SEE SHEET 16-132 FOR SITE PLAN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ILLINOIS CONSTRUCTION SPECIFICATIONS.
- ALL UTILITIES SHALL BE DEEPENED AND REPAIRED TO ORIGINAL OR BETTER CONDITION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL STORMWATER RUNOFF SHALL BE CAPTURED AND TREATED PRIOR TO DISCHARGE.
- ALL TREE REMOVALS SHALL BE IN ACCORDANCE WITH THE ILLINOIS TREE PRESERVATION ACT.
- ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL FILL SHALL BE COMPACTED TO 95% RELATIVE DENSITY.
- ALL EXCAVATIONS SHALL BE PROTECTED FROM COLLAPSE.
- ALL ADJACENT PROPERTIES SHALL BE PROTECTED FROM DAMAGE.

LEGEND:

- PROPOSED FOUR-STORY THEATER BUILDING 'B' PHASE II
- PROPOSED FOUR-STORY BUILDING 'A' PHASE I
- PROPOSED SURCHARGE PAD
- PROPOSED DRIVEWAY
- PROPOSED SIDEWALK
- PROPOSED FENCE
- PROPOSED EASEMENT
- PROPOSED PROPERTY LINE
- PROPOSED DRIVEWAY
- PROPOSED SIDEWALK
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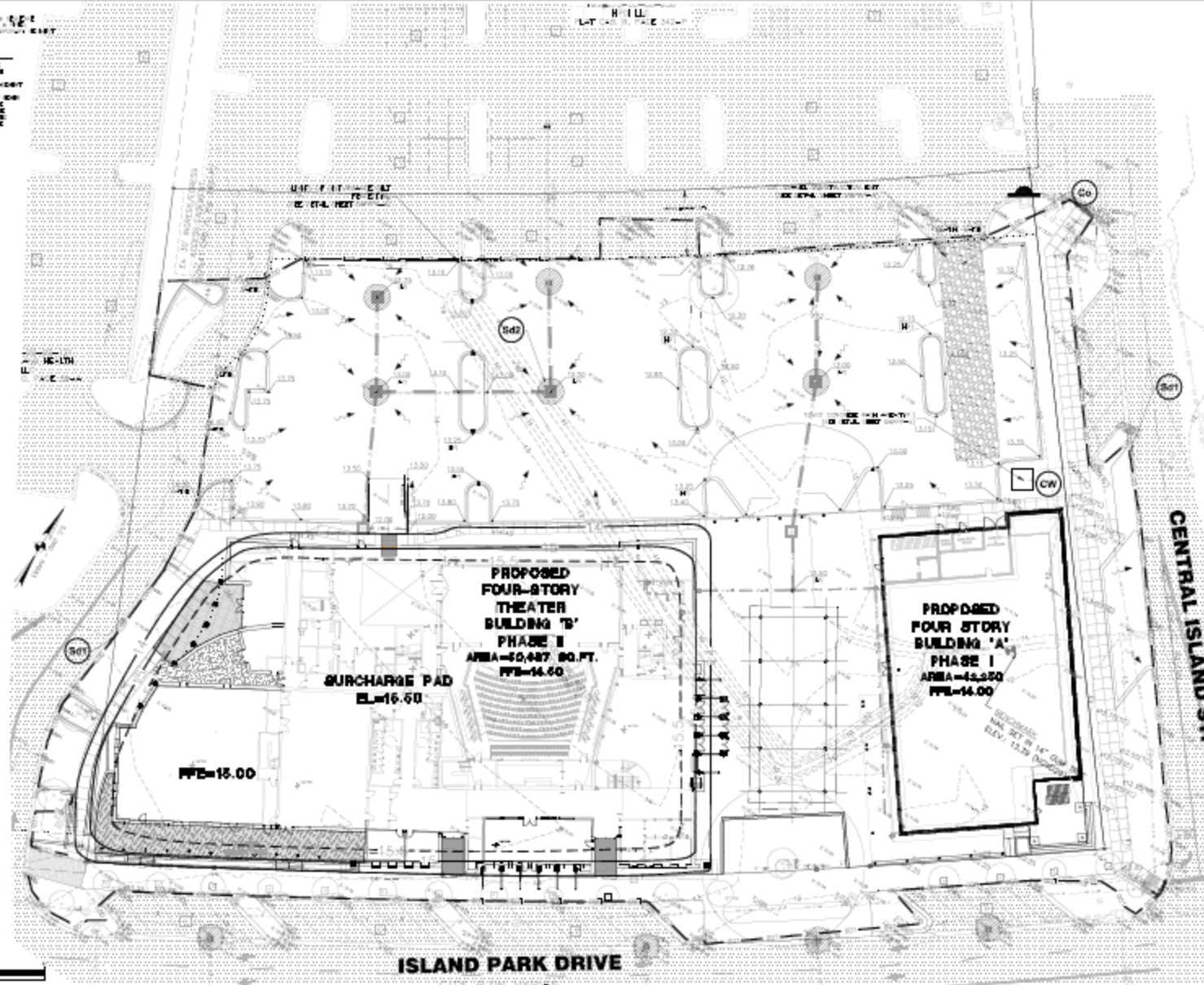
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 (630) 330-1000
www.earthsourceeng.com

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 No. 021-000000000000000000
 EXPIRATION DATE

1. **WORK DESCRIPTION** CONTRACTOR IS TO CONSTRUCT ACCESS ROAD FROM A RUTHER FORD AND A NEW LOT TO THE RUTHER FORD LOT. THE ACCESS ROAD IS TO BE 10 FEET WIDE AND 10 FEET DEEP. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.

2. **THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.**

3. **THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.**

4. **THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.**

5. **THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.**

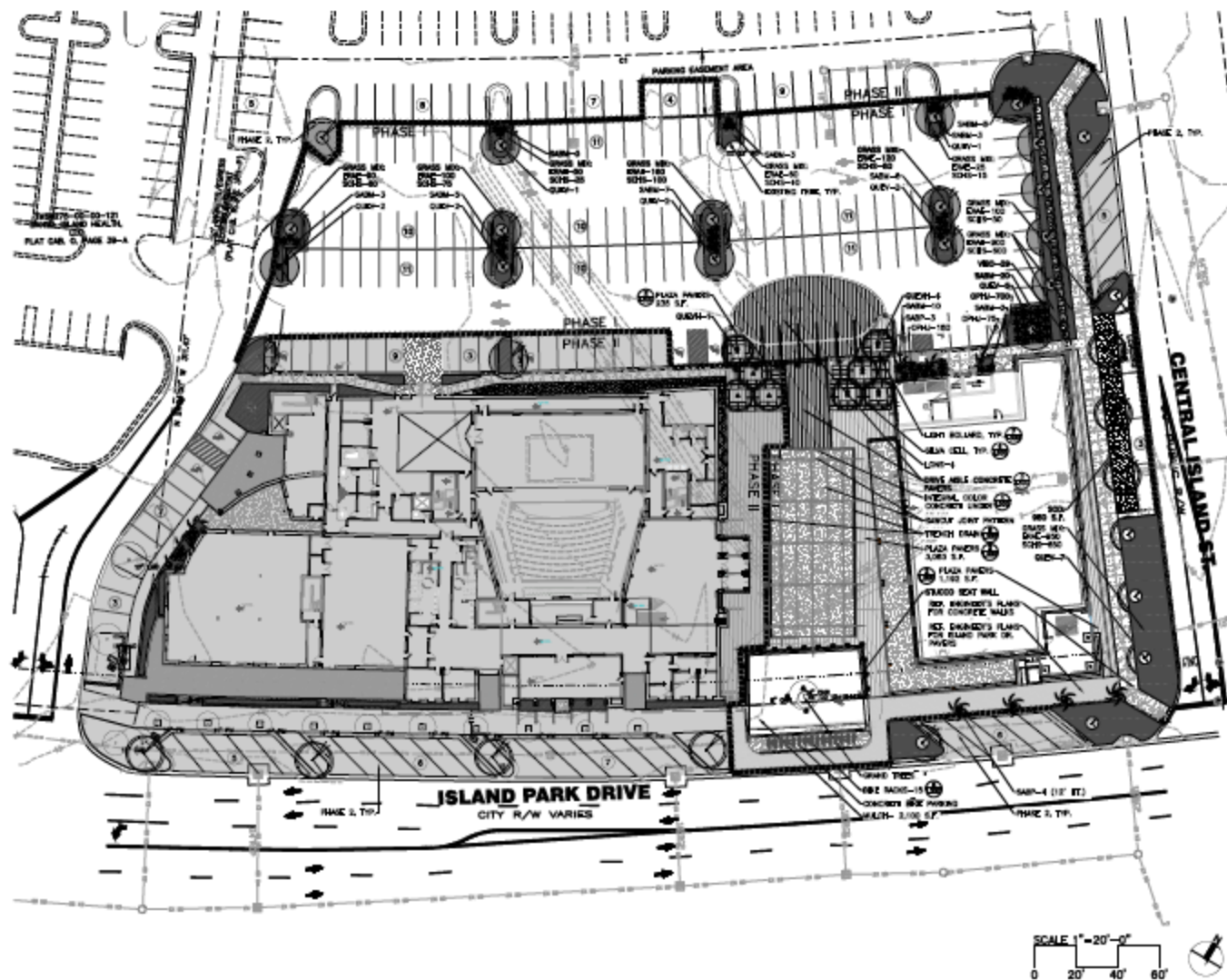
6. **THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.**

7. **THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.**

8. **THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.**

9. **THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.**

10. **THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE ACCESS ROAD.**



REMARK
landscape architecture

project number	1613.00
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**DANIEL ISLAND
PERFORMING ARTS CENTER
MULTIUSE DEVELOPMENT**
Daniel Island, South Carolina



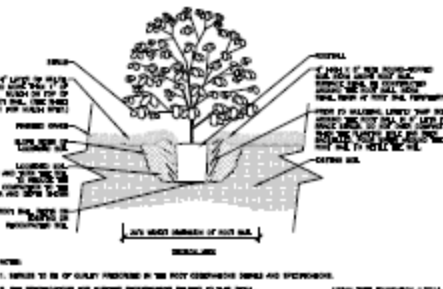
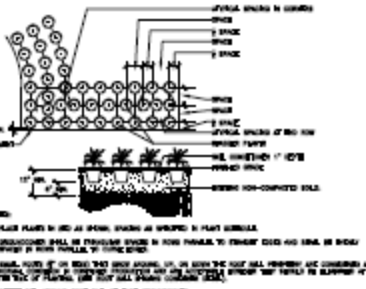

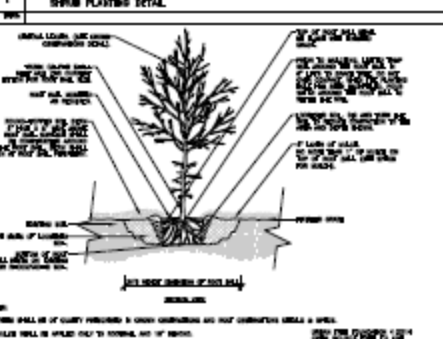
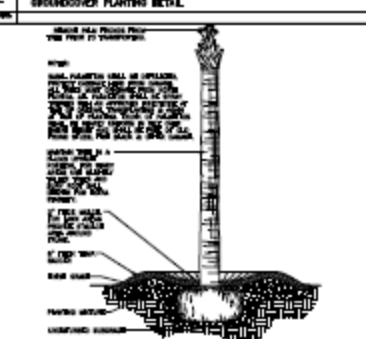

Development

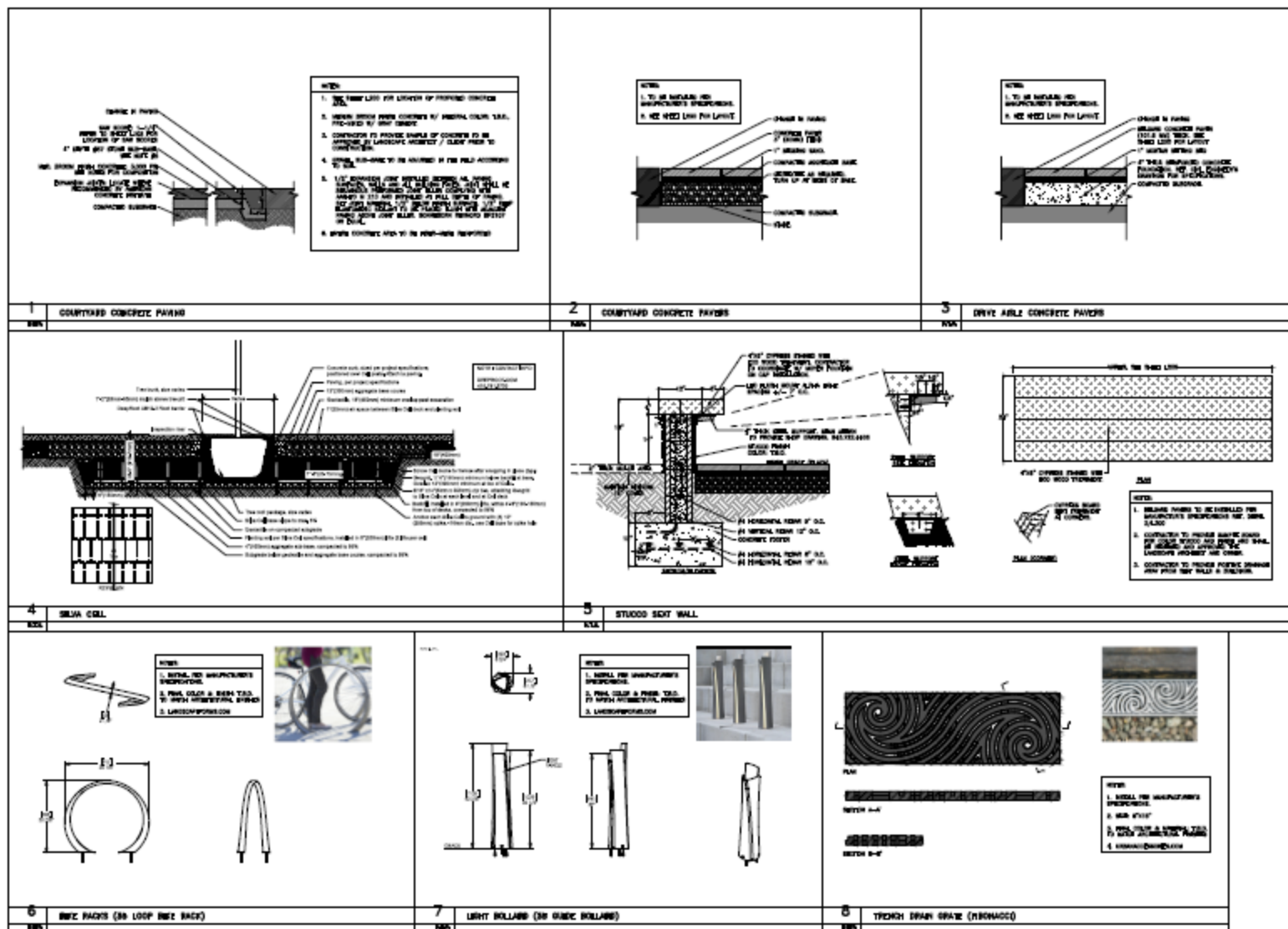
Year	2000	2001	2002
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2001	100	100	100
2002	100	100	100

LANDSCAPE PLAN

L200

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 <p>1. TREE PLANTING DETAIL</p> <p>NOTES:</p> <ol style="list-style-type: none"> 1. TREE SHALL BE OF QUALITY PROVIDED IN LAND CONSTRUCTION AND NOT CONSTRUCTIVE SHALL BE SPECIFIED. 2. TREE SHALL BE SPECIFIED TO BE PLANTED IN ALL APPLICABLE AREAS. 	 <p>2. TREE PLANTING DETAIL</p> <p>NOTES:</p> <ol style="list-style-type: none"> 1. TREE SHALL BE OF QUALITY PROVIDED IN LAND CONSTRUCTION AND NOT CONSTRUCTIVE SHALL BE SPECIFIED. 2. TREE SHALL BE SPECIFIED TO BE PLANTED IN ALL APPLICABLE AREAS. 	 <p>3. TREE PLANTING DETAIL</p> <p>NOTES:</p> <ol style="list-style-type: none"> 1. TREE SHALL BE OF QUALITY PROVIDED IN LAND CONSTRUCTION AND NOT CONSTRUCTIVE SHALL BE SPECIFIED. 2. TREE SHALL BE SPECIFIED TO BE PLANTED IN ALL APPLICABLE AREAS.
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1 VIEW NORTH ACROSS ISLAND PARK DRIVE



3 VIEW SOUTH TO POND FROM SITE



2 VIEW NORTH ALONG CENTRAL ISLAND STREET



4 VIEW EAST ALONG ISLAND PARK DRIVE







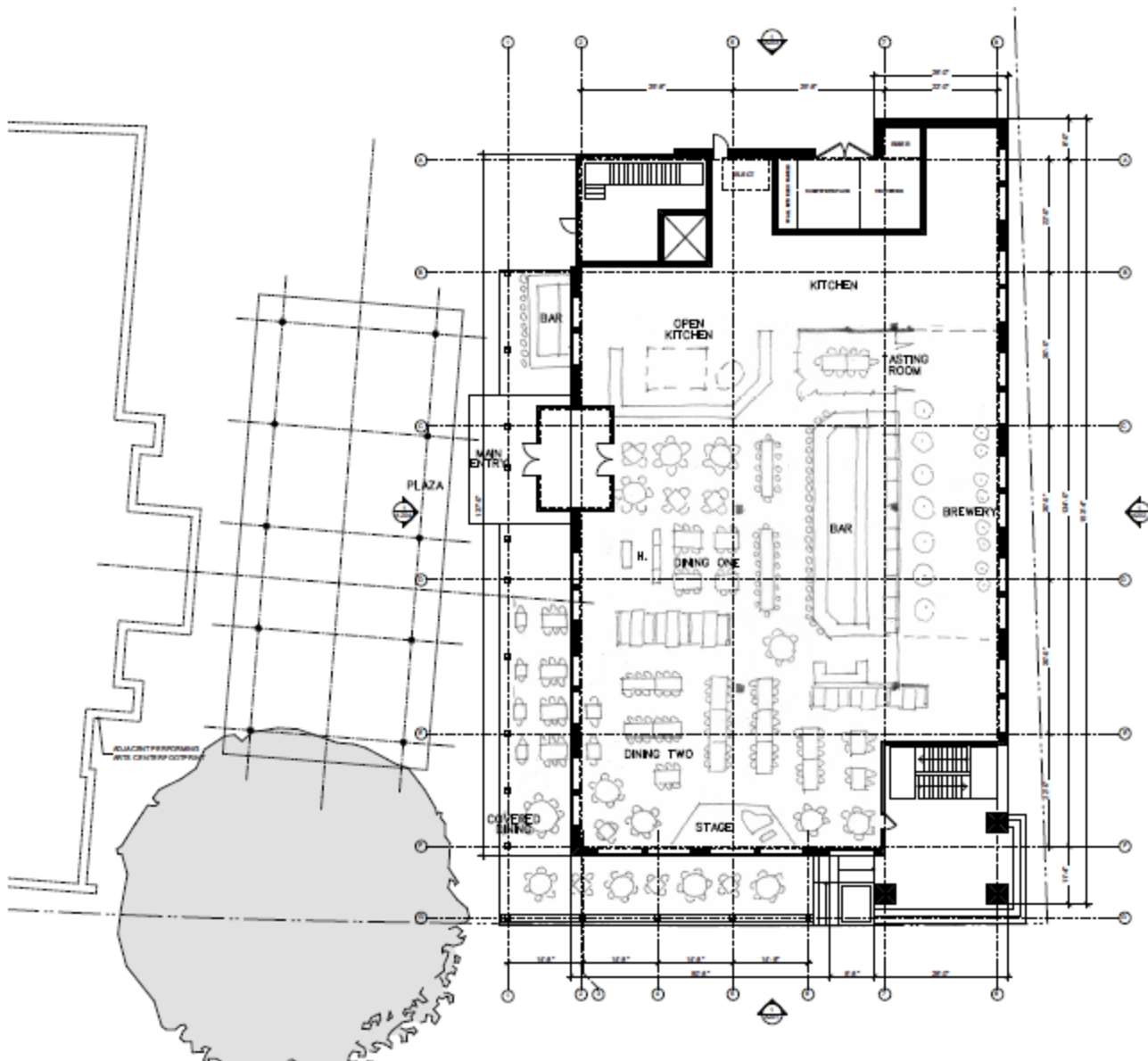
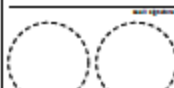
**DANIEL ISLAND SQUARE
PHASE I
DANIEL ISLAND
PERFORMING ARTS CENTER
MULTI-USE DEVELOPMENT**
Daniel Island, South Carolina



Phase	Rate (days)
Preliminary DRB Submittal	10.5.16

PHOTO FROM BRIDGE

A007



A1 FIRST FLOOR PLAN - CONCEPTUAL
SCALE: 1/8" = 1'-0"

LEGEND:

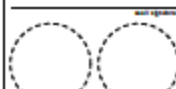
- FIRE EXTINGUISHER
- FIRE RISK INSULATION CEMENT AND
REINFORCING
- ELEC. WATER CO. CLIM.
- FLOOR DRAIN - SEE PLAN NOTES
- ROOF DRAIN LEADER - SEE PLUMBING & CIVIL
- DOWNPOUT - SEE ROOF PLAN
- MATCHLINE/EXPANSION JOINT (SEE DET. 100000)
- CONCRETE OR CMU CONTROL JOINT

GENERAL NOTES:

- A. DIMENSIONS TO FACE OF STUD UNLESS NOTED OTHERWISE.
(CL INDICATES DIMENSION TO COLUMN OR WALL CENTERLINE)
- B. ALL PARTITION HEIGHTS TO FIN UNLESS NOTED OTHERWISE
- C. ALL PARTITION OR MATCHLINE DIMENSIONS ARE NOMINAL. FOR
ACTUAL DIMENSIONS SEE FINISHED DETAILS ON 4000.
- D. SEE RELATED PLANS OF STAIRS AND ELEVATIONS FOR
PARTITION TYPES IN THE AREAS INDICATED.
- E. GENERAL CONTRACTOR TO LAND UP LOCATION OF BUILDING
ACCORDING TO THE DIMENSIONS SHOWN ON THIS SHEET
RELATIVE TO PROPERTY LINE CORNERS.
- F. IN ALL DETAIL DIMENSIONS SHALL PRECEDE IF A CONFLICT
ARISES WITH TYPICAL DIMENSION SETINGS. SEE PLAN DETAIL
SHEET SA-311 - 1000.
- G. ALL WINDOW DOORS ARE LOCATED WITH REFERENCE TO JAMB
ALTHOUGH EACH IS SHOWN FROM ADJACENT WALL, UNLESS NOTED
OTHERWISE.

project number: 1013.00

DANIEL ISLAND SQUARE
PHASE I
DANIEL ISLAND
PERFORMING ARTS CENTER
MULTI-USE DEVELOPMENT
Daniel Island, South Carolina



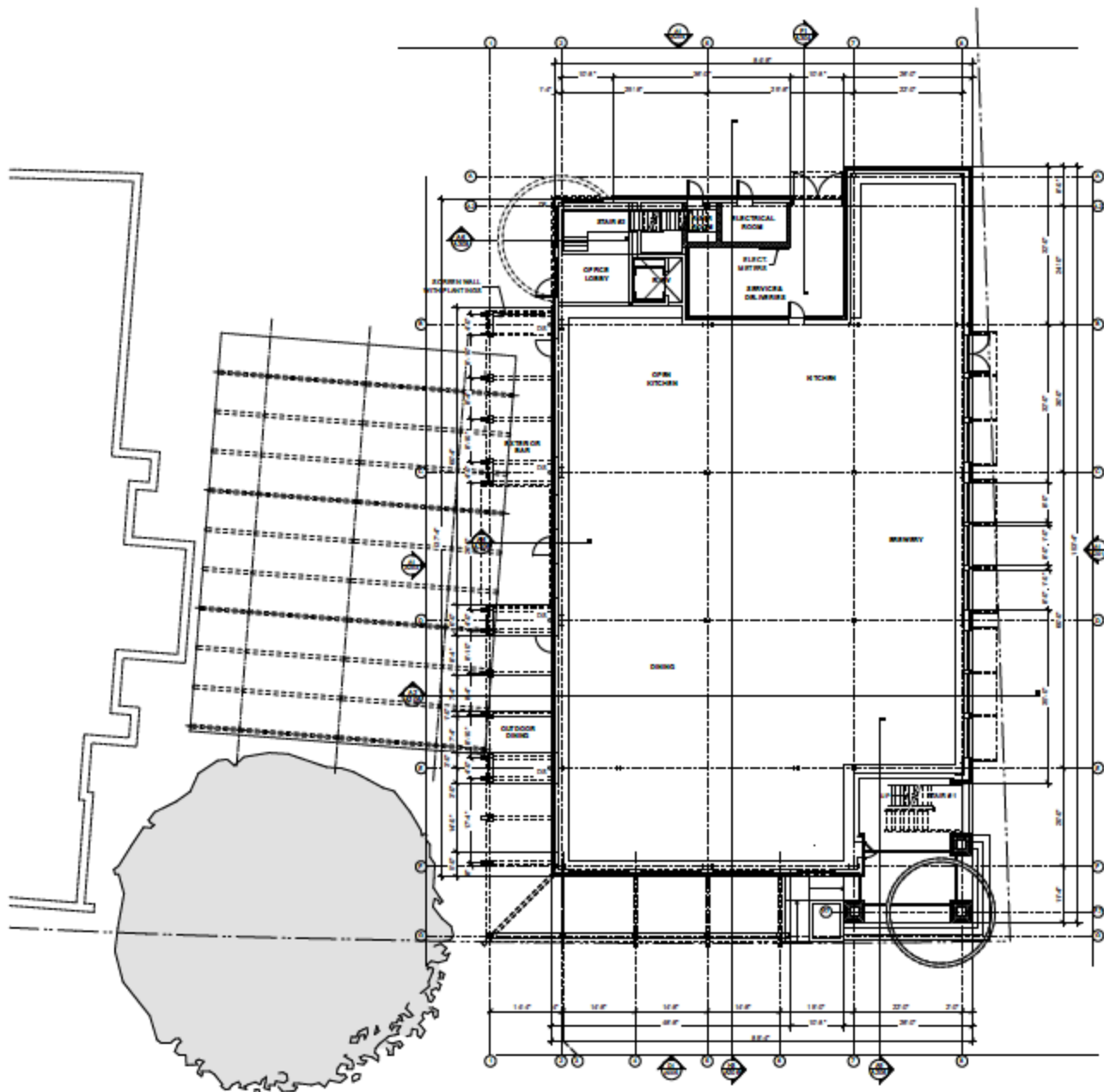
phase: PRELIMINARY
Preliminary DRB
Submit: 10.5.16

author: [blank] designer: [blank] date: [blank]

FIRST FLOOR PLAN - PRELIMINARY

A102

drawn by: SM, SH, SC, JC plot date: 10.05.16

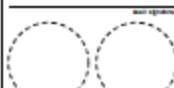


A1 FIRST FLOOR PLAN - PRELIMINARY

SCALE: 1/8" = 1'-0"

project number 1013.00

DANIEL ISLAND SQUARE
PHASE I
DANIEL ISLAND
PERFORMING ARTS CENTER
MULTI-USE DEVELOPMENT
Daniel Island, South Carolina



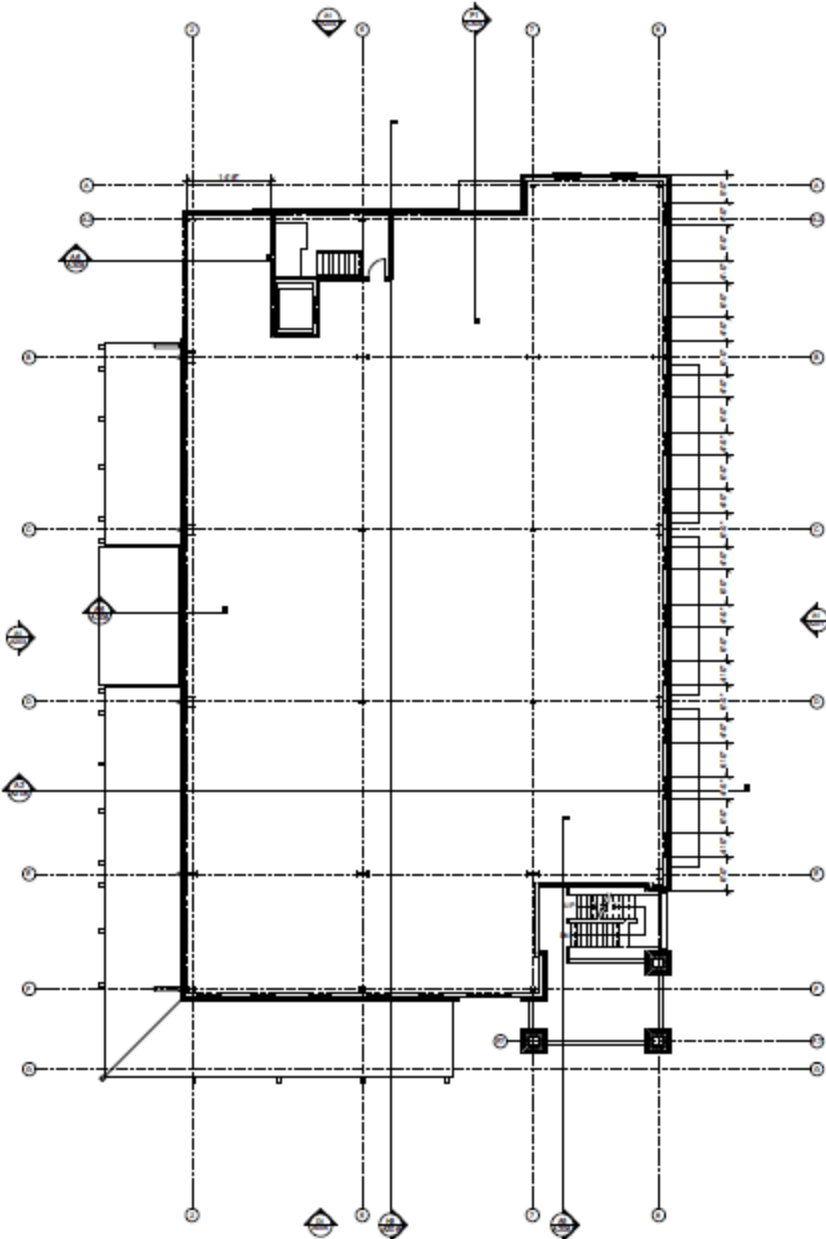
phase Preliminary DRB
Submital 10.5.10

author SMH
date 10.5.10

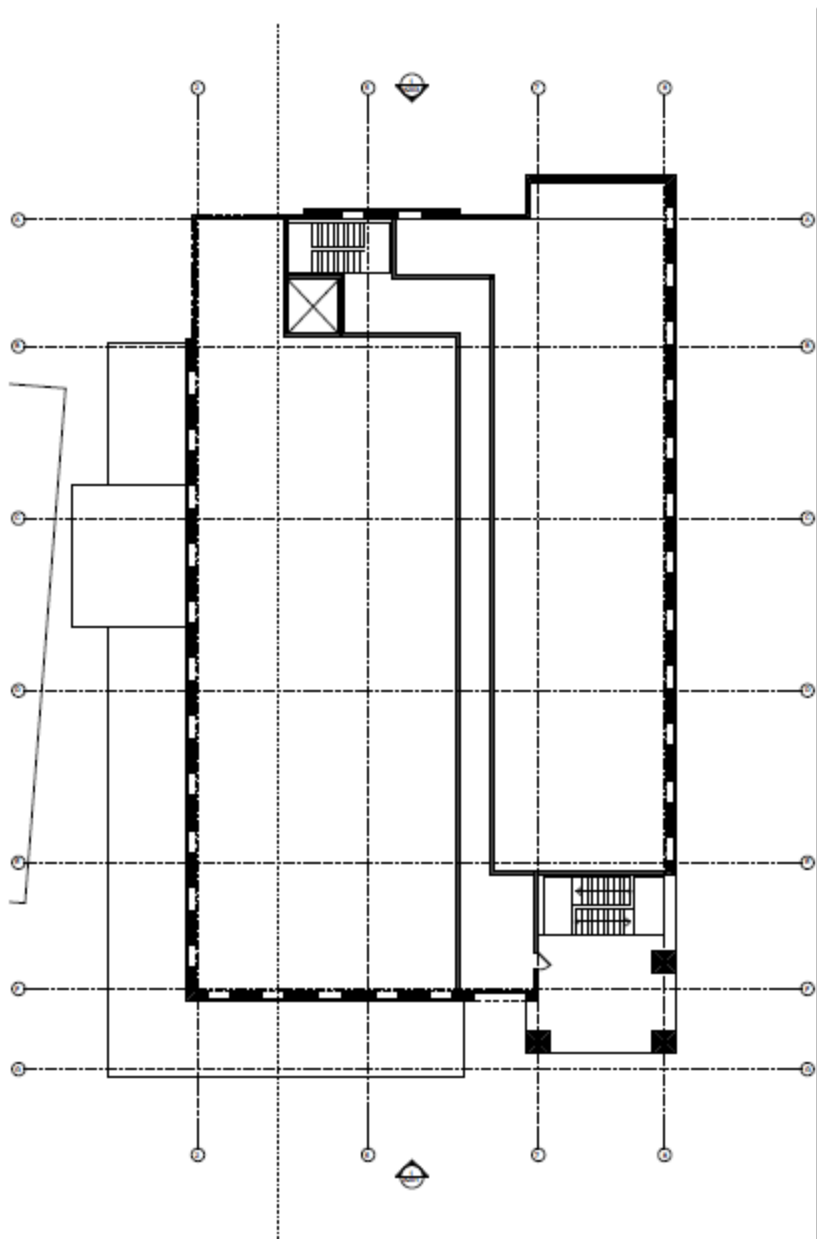
SECOND & THIRD
FLOOR PLANS

A103

drawn by SM, SD, DC
plot date 10.5.10



A1 SECOND & THIRD FLOOR PLAN - PRELIMINARY
SCALE: 1/8" = 1'-0"



A1 SECOND & THIRD FLOOR PLAN - CONCEPTUAL
SCALE: 1/8" = 1'-0"

project number 1013.00

DANIEL ISLAND SQUARE
PHASE I
DANIEL ISLAND
PERFORMING ARTS CENTER
MULTI-USE DEVELOPMENT
Daniel Island, South Carolina



phase Preliminary DRB
Submital 10.5.10

author SMH

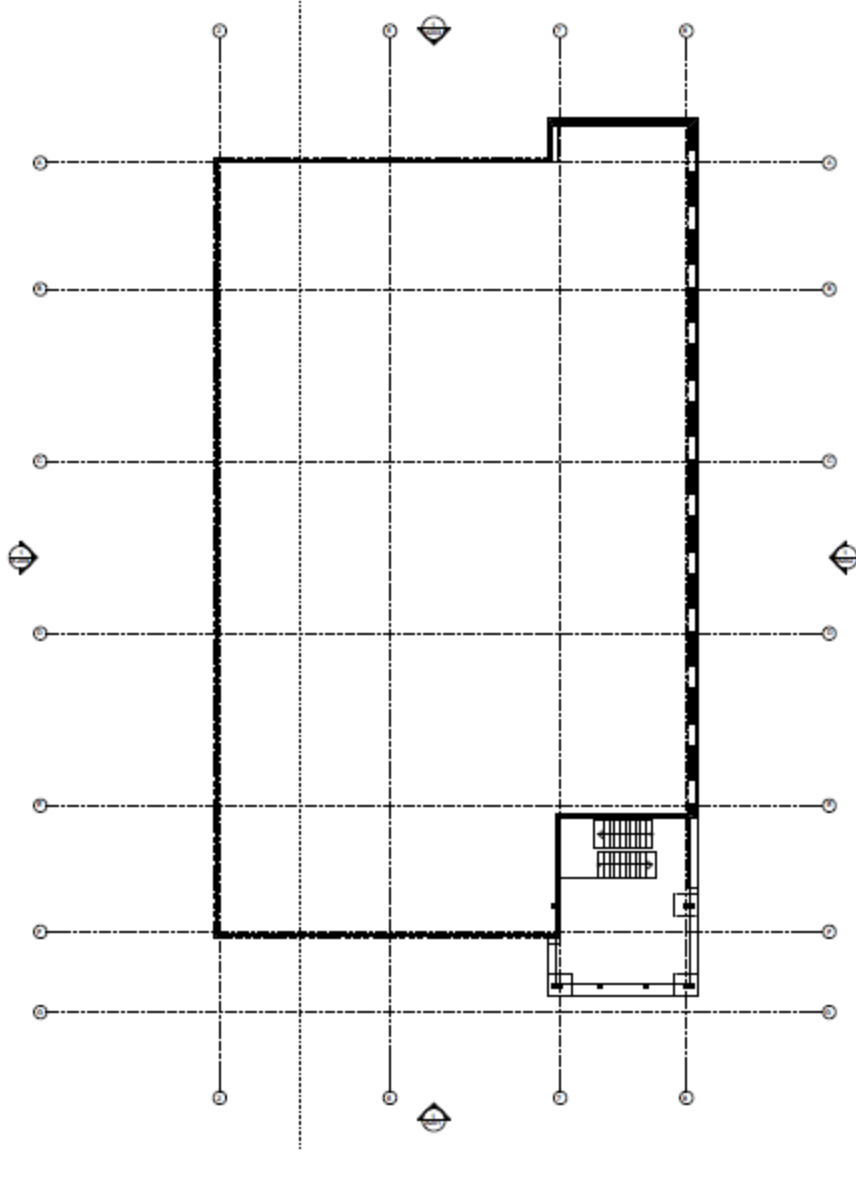
date 10.5.10

FOURTH FLOOR PLAN

A104

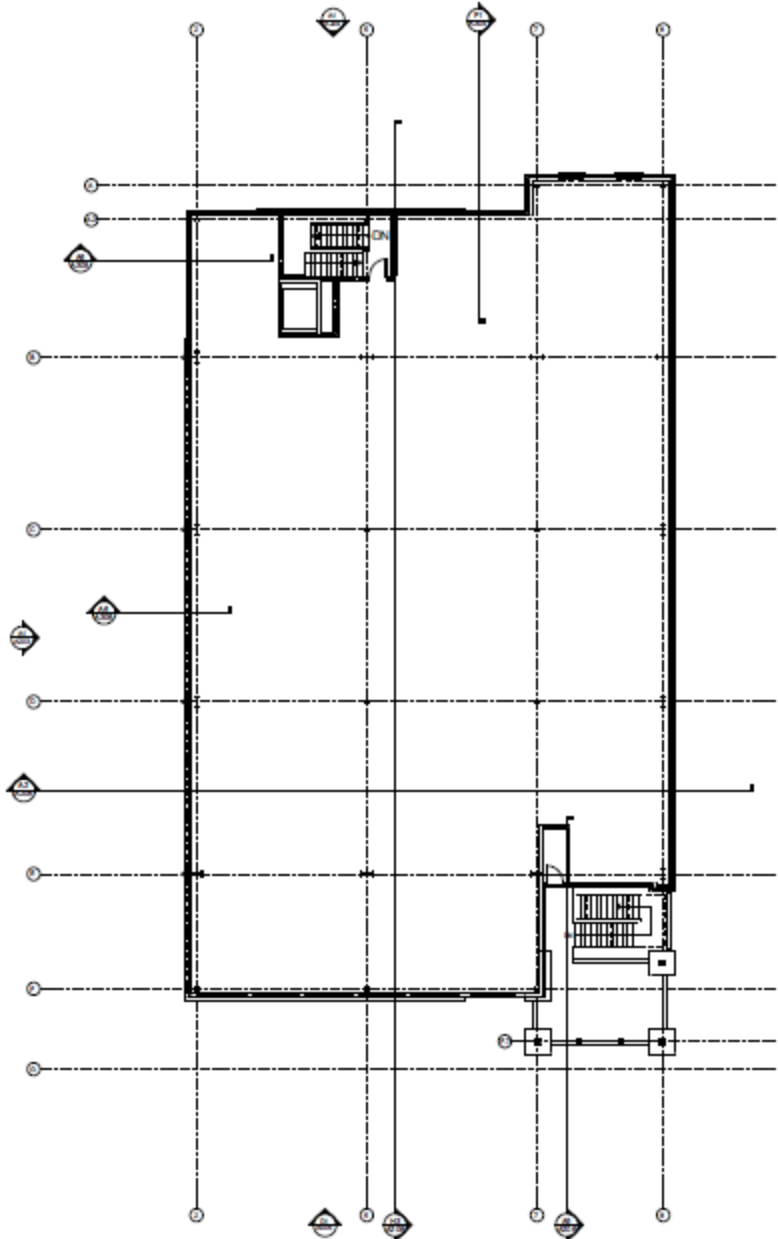
drawn by SM, SD, DC

print date 1.08.11



A1 FOURTH FLOOR PLAN - CONCEPTUAL

SCALE: 1/8" = 1'-0"



A1 FOURTH FLOOR PLAN - PRELIMINARY

SCALE: 1/8" = 1'-0"

ARCHITECTURAL & MECHANICAL PLAN

ALUMINUM

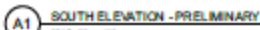
MECHANICAL & ELECTRICAL PLAN

MECHANICAL & ELECTRICAL PLAN

MECHANICAL & ELECTRICAL PLAN

MECHANICAL & ELECTRICAL PLAN

doi:10.1017/S0022278X12000506



GENERAL NOTES :

A. BUILDING DEFINITIONS: SHOW RELATIONSHIP OF A BUILDING TO THE BUILDING SURROUNDING. CIVIL DRAWINGS FOR WORK SPECIFIC STRUCTURAL DRAWINGS ARE OBSOLETE.

B. BUILDING BLOCKS AND IF-PHASES FOR REPRESENTATION AND ORIENTATION. SECTIONS OF THIS PAPER PROVIDE ADDITIONAL INFORMATION AND TAKE PRICES OF NO MORE THAN \$100 IF DIARRHEALIC IS SOLD IN

C. We shall also discuss the question whether the use of a written contract is sufficient to make the contract enforceable in the absence of a written contract. The answer is that the use of a written contract is not sufficient to make the contract enforceable in the absence of a written contract.



H1 WEST ELEVATION - CONCEPTUAL



A1 WEST ELEVATION - PRELIMINARY

**DANIEL ISLAND SQUARE
PHASE I
DANIEL ISLAND
PERFORMING ARTS CENTER
MULTI-USE DEVELOPMENT**

Daniel Island, South Carolina



Phase 1

Preliminary DRB 10.5.16
Submitted

100%

— 348 —

WEST ELEVATION

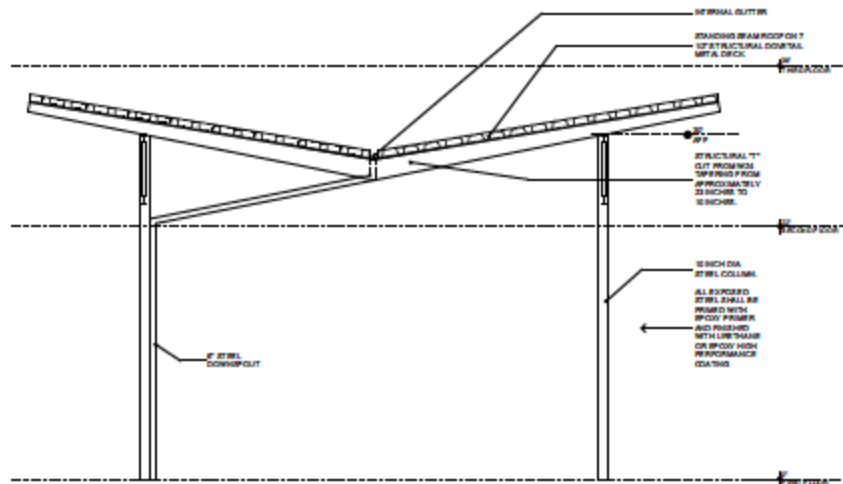
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A203

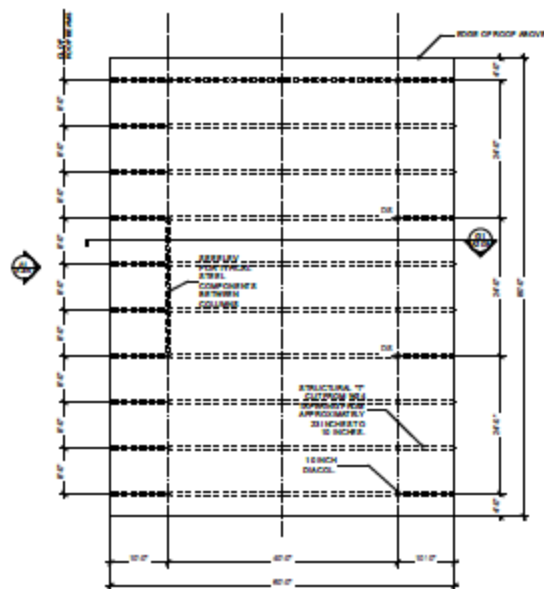
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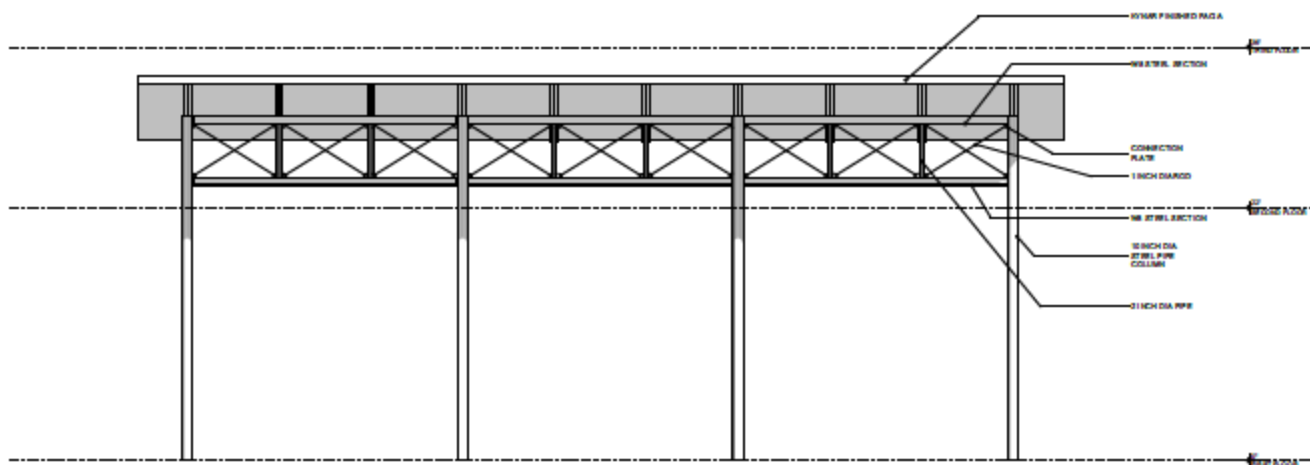
[Return to top](#)



G1 PAVILION - SECTION



G8 FIRST FLOOR PLAN



A1 PAVILION - WEST ELEVATION



sheet number

105.16

Preliminary DRB
Submit 1

revision

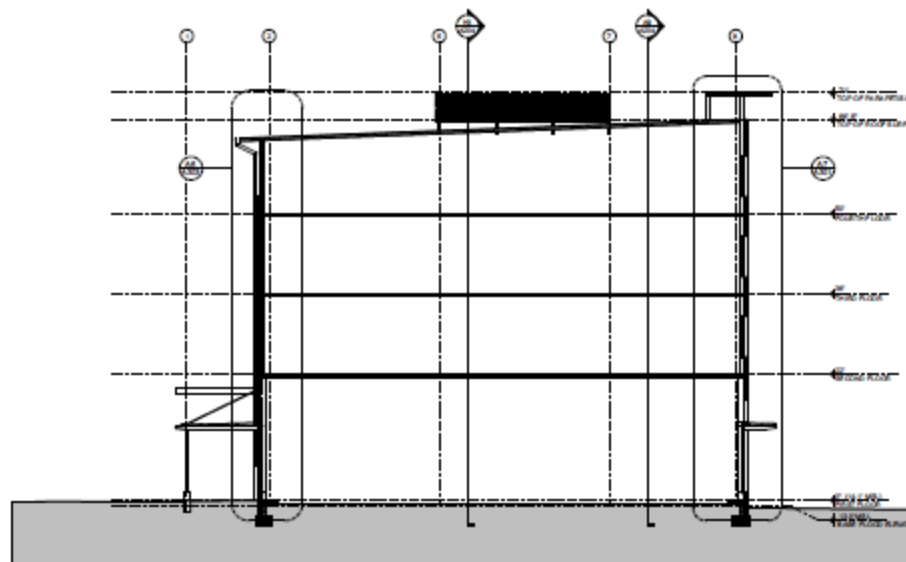
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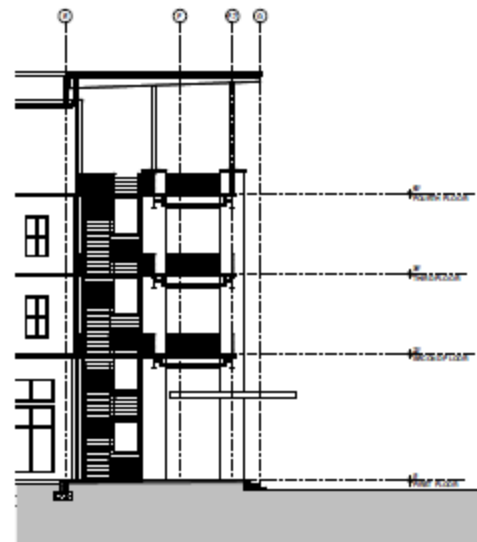
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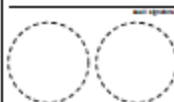
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SCALE: 1/8" = 1'-0"

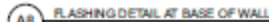
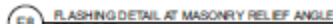
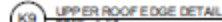
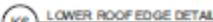


A2 SECTION - EAST/WEST
SCALE: 1/8" = 1'-0"



A9 SECTION - NORTH/SOUTH @ CORNER
SCALE: 1/8" = 1'-0"





Agenda Item 3:

20 Fairchild Street

Request Conceptual approval for new construction of a retail building as per documentation submitted.



CONTEXT MAP

VACANT LOT



PROPOSED RETAIL STRUCTURE



REPUZL (under construction)



FAIRCHILD STREET STUDY

(Looking North)

Scale: 1/8" = 1'-0"

APARTMENTS & RETAIL



APARTMENTS & RETAIL



APARTMENTS & RETAIL



FAIRCHILD STREET STUDY

(Looking South)

Scale: 1/8" = 1'-0"

VIEW FROM 1-26 EAST LOOKING SOUTH



FAIRCHILD STREET PROPOSED DEVELOPMENT



APPLICANT PRESENTATION

Fairchild Retail

A retail facility on Daniel Island
20 Fairchild Street
Charleston, SC

Area Calculations;

Starbucks = 2,820 sf

Spirits = 1,381 sf

Bin 526 = 5,969 sf

Total Bldg. = 10,282

Site Information;

TMS 275-00-00-269 DI-TC

Flood Zone = AE 13 and 14

Lot Area = 61,554.56 sf

Area covered by building = 10,282 sf



Existing Streetscape

VACANT LOT



PROPOSED RETAIL STRUCTURE



REFUEL (under construction)



FAIRCHILD STREET STUDY
(Looking North)

Scale: 1/8" = 1'-0"

APARTMENTS & RETAIL



APARTMENTS & RETAIL



APARTMENTS & RETAIL



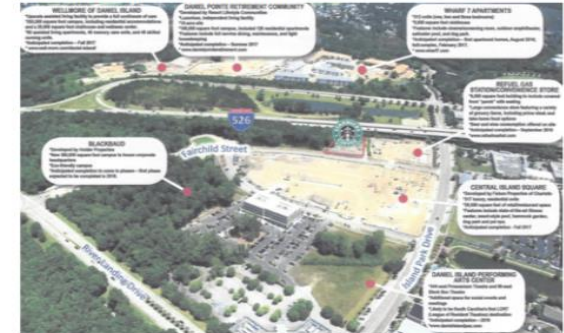
FAIRCHILD STREET STUDY
(Looking South)

Scale: 1/8" = 1'-0"

VIEW FROM I-526 EAST LOOKING SOUTH



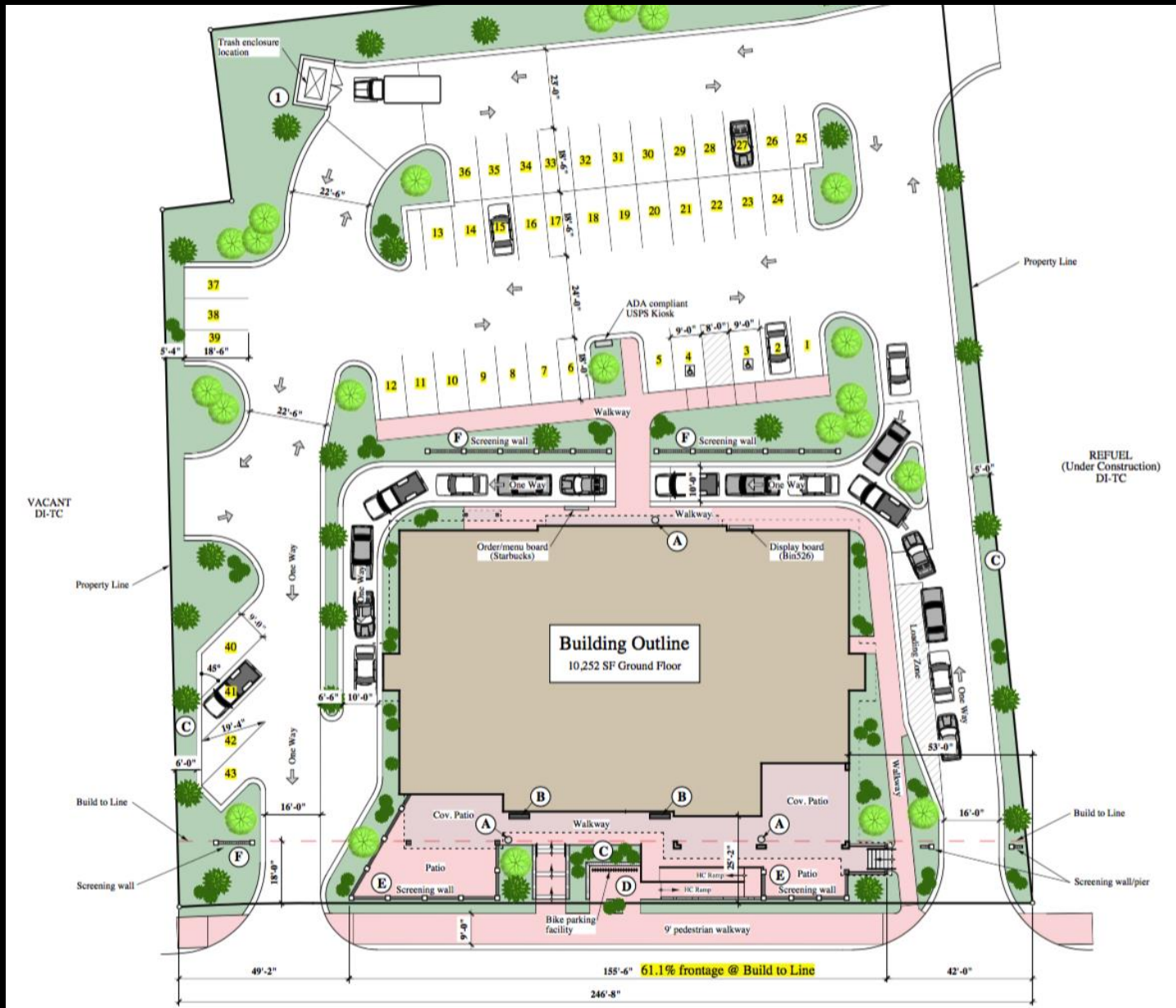
FAIRCHILD STREET PROPOSED DEVELOPMENT



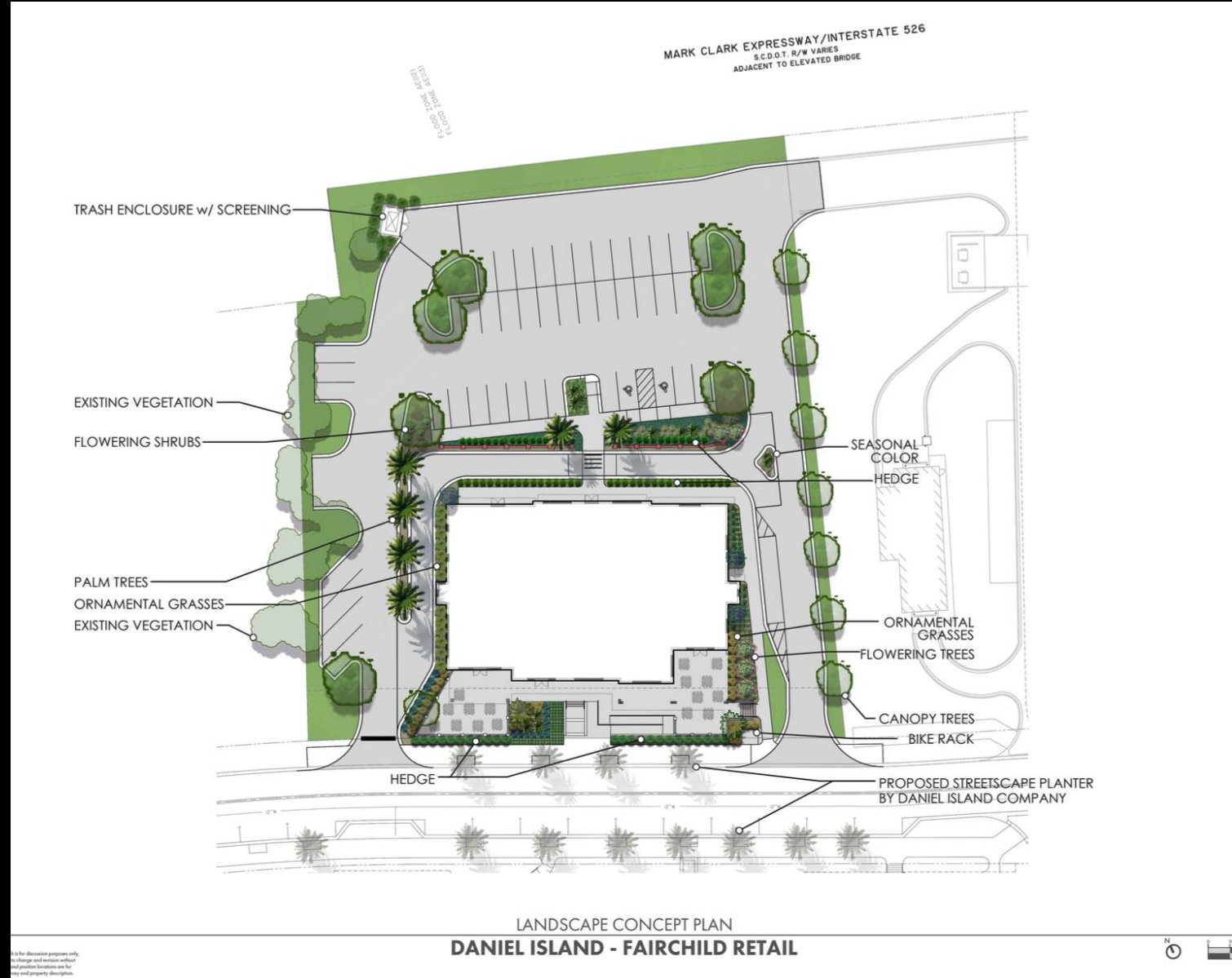
Design Ideas



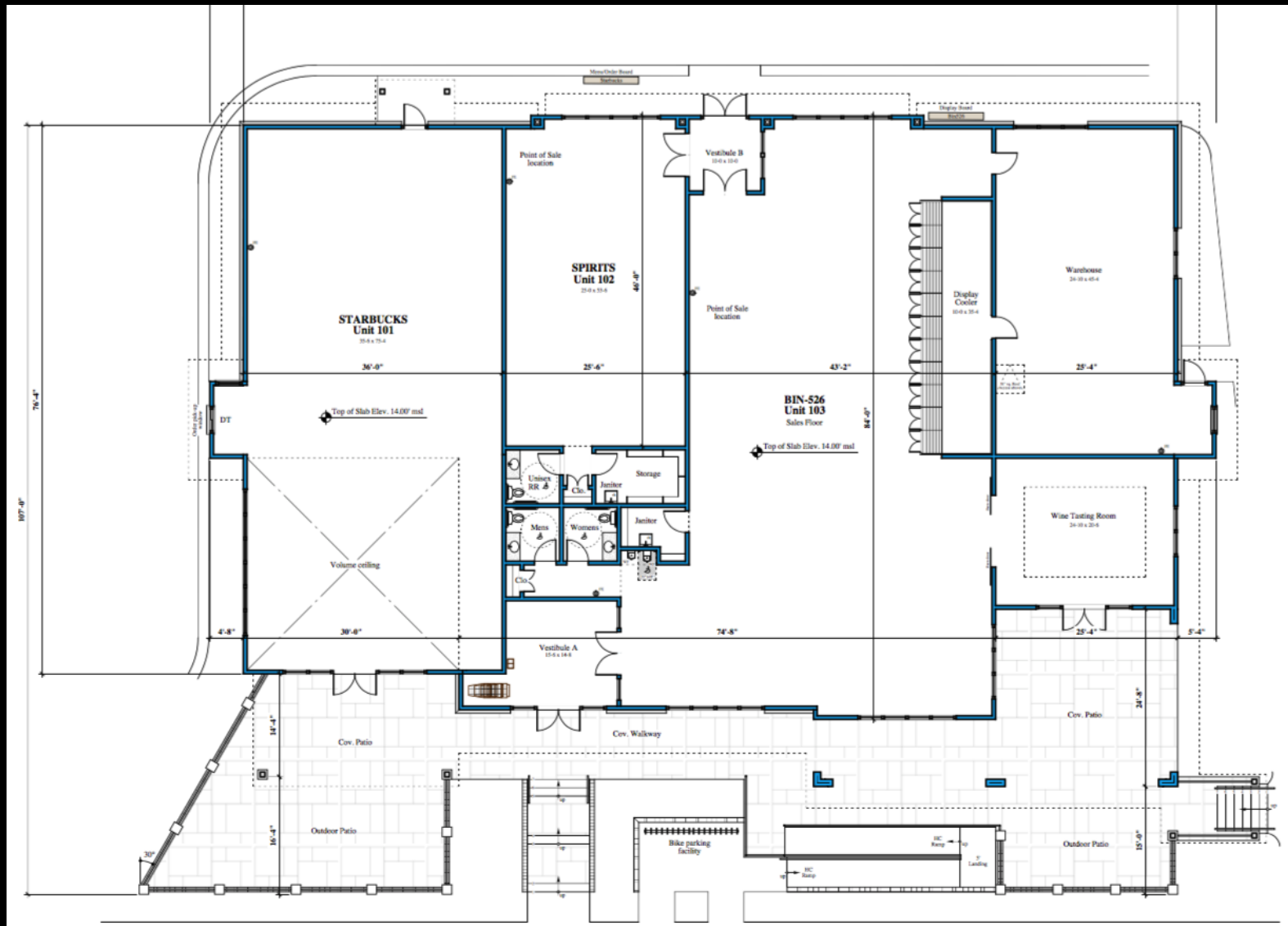
Site Plan of 20 Fairchild Street



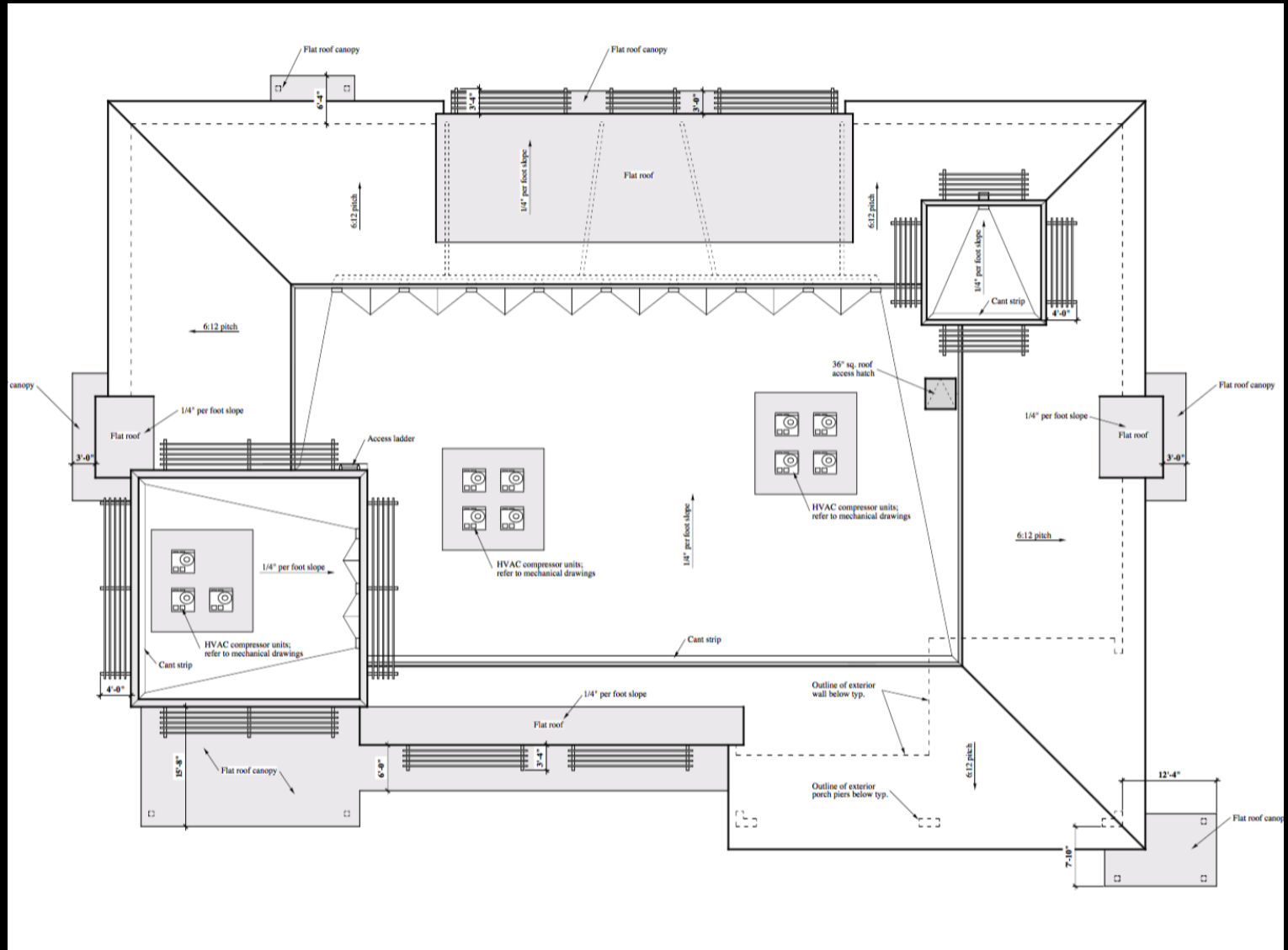
Conceptual Landscape Plan



Floor Plan



Roof Plan



South and East Elevations



North and West Elevations



3D Model looking East



3D Model looking North



3D Model looking South



3D Model looking South



Street View



Street View



Street View



THE LOGO



Great use of fenestration;
A stained NuCedar shiplap veneer at
building corners at Starbucks drive-thru
and BIN 526

Cool corner tower concept;
The cornerstone of the building
helps define "Starbucks"



Nice veneer cladding material;
This helps break up massing.
At "Starbucks" and abutting BIN 526



Another Starbucks tower concept;
Note that the use of concrete block
spells out "simplification"

Cool use of "sun" control.
Extended metal awnings



Out-door seating and patio concept;
Note that the use of concrete wall
which provides privacy and separation
from adjacent street

Cool use of "sun" control.
over exposed patio incorporating
a "trellis" effect



Another method of partially
covering the out-door patio



ENIGMA 111
(From One Starlin)

Book 152-0100



SOOTH EEE
(From Fairfield Street)

 $\Delta_{\text{HSC}} = 100^\circ \text{C}$ 

Therapy Link

225 SFD UNITED, LLC

Fairchild Retail

20 Fairchild Street

"Daniel Island"
City of Charleston, South Carolina

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Win-Selfies (Photo):

1	2	3	4	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Exotic Meat & TB
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Grabbers TSC
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Grabbers C&B
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Sal Sal
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Shawls Sal
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Grabbers Sal

SOUTH & EAST ELEVATIONS

10/17/16

A-2.0

Project # : 30020 New Landing Dr.)

An architectural elevation drawing of the building facade. The drawing shows a two-story structure with a complex roofline. The left side features a brick chimney and a section of brickwork. The central part has a large, multi-paned window with a decorative frame. The right side shows a gabled roof section with a smaller window. The drawing is rendered in a stylized, hand-drawn manner with black lines and some color shading.

THROAT
(Looking North)

State 1994, 1995

PARCIE
(Looking South)

www.elsevier.com/locate/jmb

[illegible]

Agenda Item 4:

1439 Folly Road

Request Conceptual approval for new construction of a 3 story storage building, a 1 story storage building and additions to 3 existing storage buildings as per documentation submitted.



CONTEXT MAP

APPLICANT PRESENTATION

2. **STANDARD ORDER NO. 01** (01-00-00-00)

1. An individual, partnership, trust, or company agrees to act as the agent for the seller of the property, under a written contract with a term of not more than 1 year.

- [illegible]

[illegible]

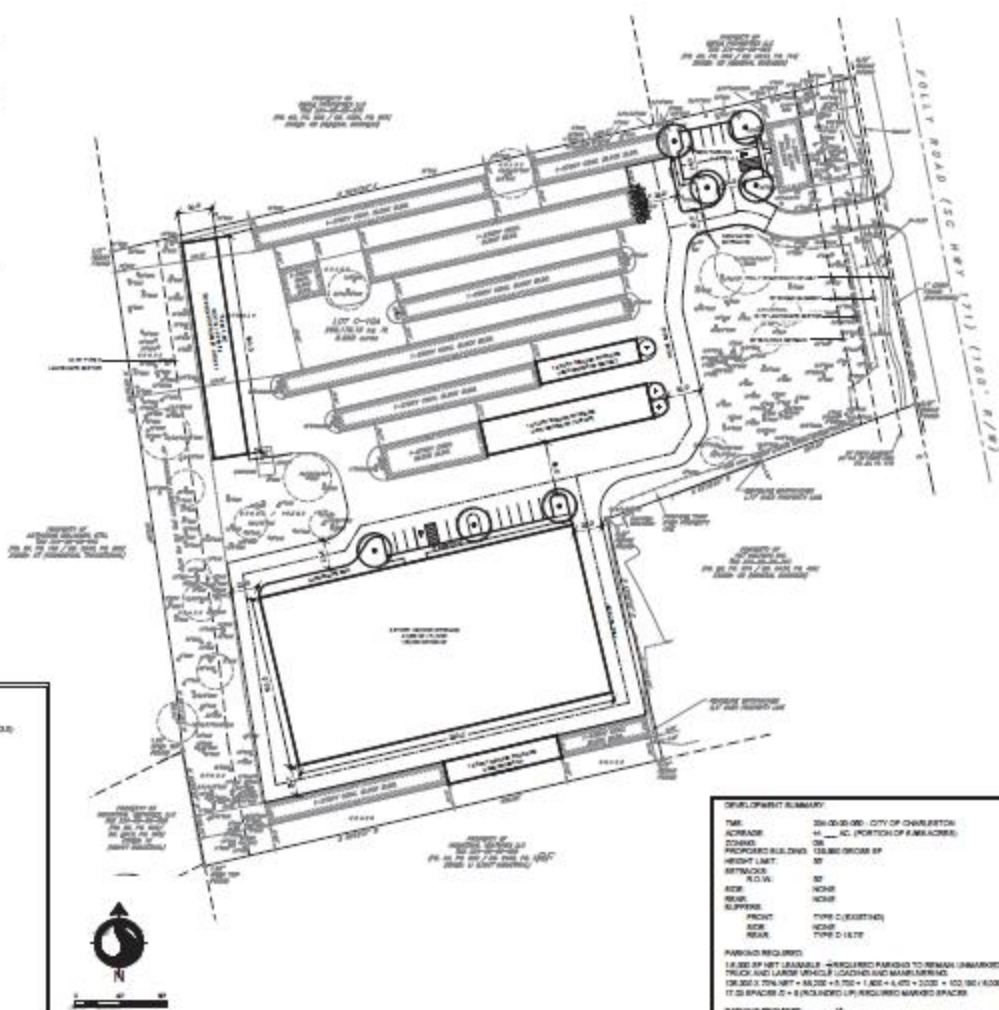
TREE NOTES:
TOTAL SIGNIFICANT TREES: 303
TREES REQUIRED TO REMAIN: 103 (25 ACRES X 10 TREES/ACRE = 103)
SIGNIFICANT TREES TO BE SAVED: _____
SIGNIFICANT TREES TO BE REMOVED: _____

GROUND TRUTH TO BE SAVED: 0
GROUND TRUTH TO BE REMOVED: 0

GROUND TREES TO BE SAVED
MADISON, N.Y.

QAK 30°
QAK 15°00"
QAK 30°
QAK 15°30"
QAK 45°00' 0"
QAK 15°00' 00" 00"
QAK 30°
QAK 15°00' 00" 00"
QAK 15°00' 00"
QAK 15°00' 00"
QAK 15°00' 00"
QAK 15°00' 00"
QAK 15°00' 00"
QAK 15°00' 00"
QAK 15°00' 00"

GRAND TOTALS TO BE REMOVED:
WATER OAK: 108612512, 47' TOTAL, GRADE D
WATER OAK: 17612512, 47' TOTAL, GRADE D
WATER OAK: 5817612512, 47' TOTAL, GRADE D
WATER OAK: 5812, 38' TOTAL, GRADE D



TAX	38-000-000 - CITY OF CHAMBERLAIN
ACREAGE	1.00 AC. (PORTION OF A MAP ACROSS)
ZONING	DR
PROPOSED BUILDING	1-LEVEL OFFICE BLDG
HIGHWAY LIMIT	
ENTRANCES	50
P.D. IN	50
REAR	NEAR
NEAR	NEAR
SUPPLY	
FRONT	TYPE C (EXISTING)
REAR	NEAR
REAR	TYPE D (SITE)

PAVING REQUIRED:

1.8 USED BY LEASABLE - REQUIRED SURFACING TO REMAIN UNGRADED FOR TRUCK AND LARGE VEHICLE LOADING AND UNLOADING

DR 30.0 X 276.0 FT = 8280.0 + 5.750 X 1.800 + 4.000 X 20.00 = 102.50 / 60.00 = 17.08 SQUARE C = 17.08 CIRCLED 17.08 REQUIRED PAVING SPACE



High-Clearance High-By 20-25 ft. 20-25 ft.
 Interior Clearance 20-25 ft. 20-25 ft.
 www.1000000000.com

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[illegible]

Identified

PUBLIC STORAGE

FOLLY GOAD

Chalmer, 30/05/0

1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 26

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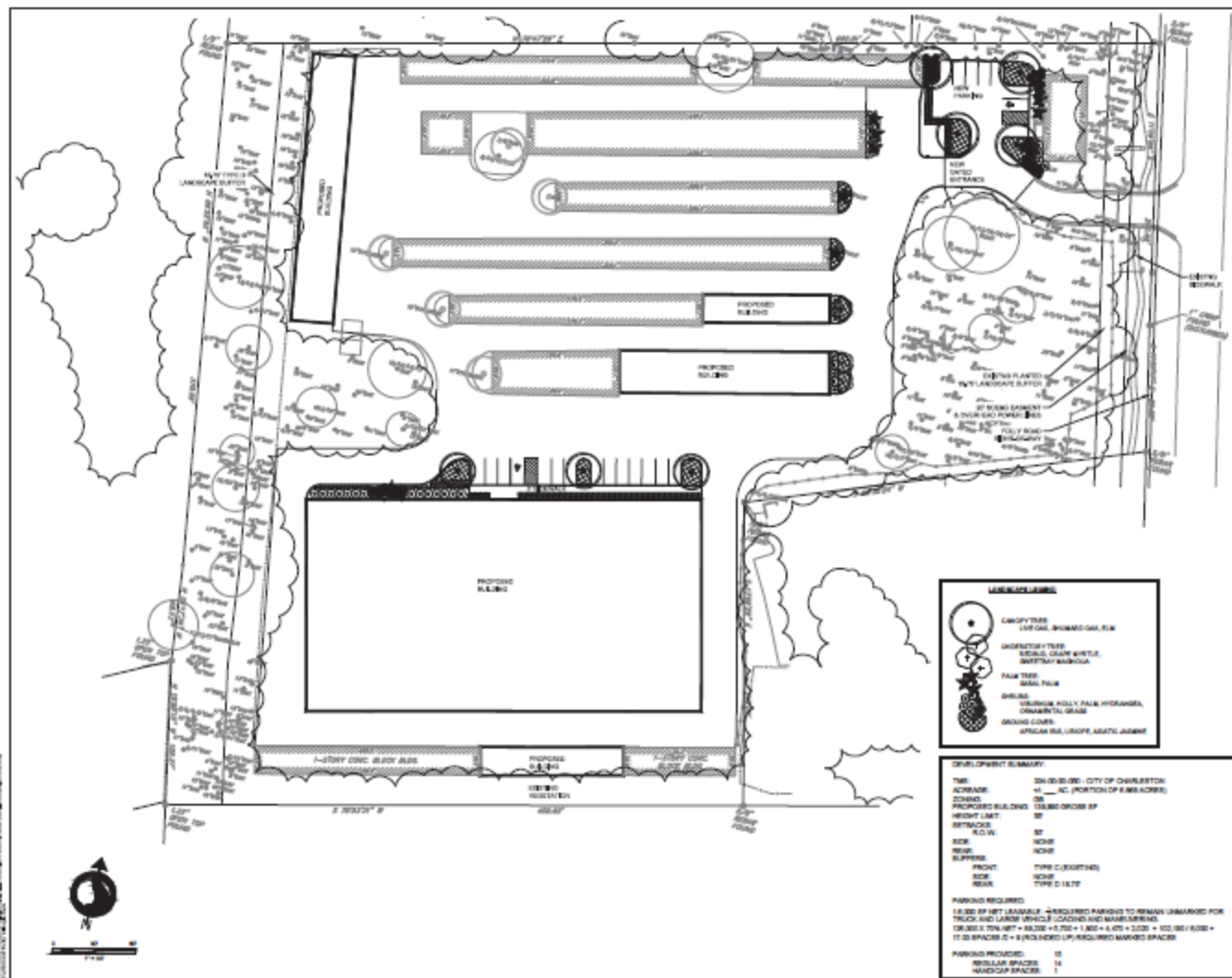
Project No.	20
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INDEX

Ordering Info: 800-368-6868

C1

51





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Legend

[illegible]

Client Project
PUBLIC STORAGE

FOLEY ROAD

100

Charles E. Davis

1

CONCEPT PLANT PALETTE

PROJECTING.

1992-1993

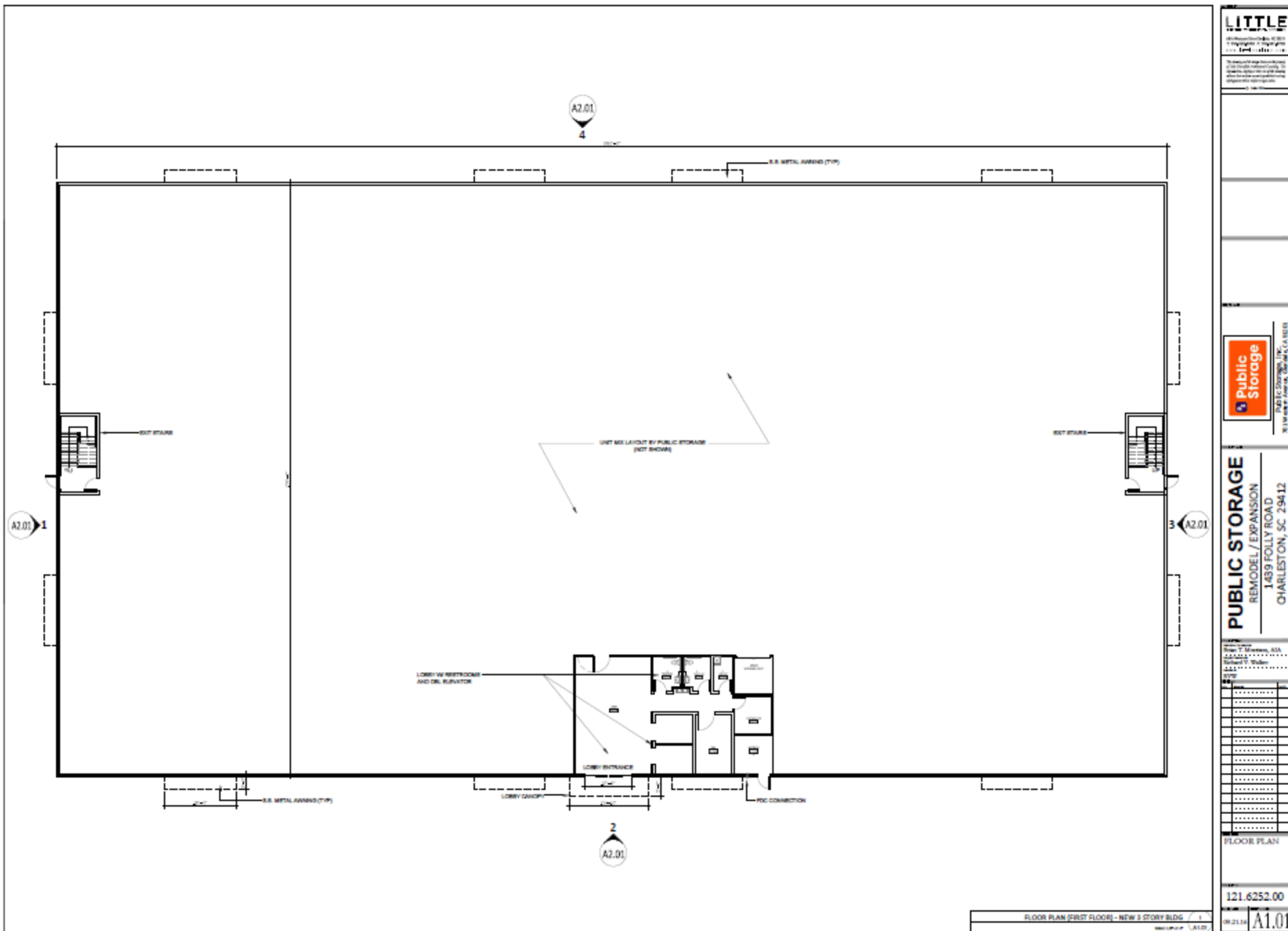
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NEW 1-STORY DRIVE UP BLDG. (MATERIALS AND COLORS TO MATCH EXISTING)

EXIST. 1-STORY DRIVE UP BLDGS. (TO REMAIN. NEW PAINT AND PRESSURE WASH AS NEEDED. COLORS TO MATCH EXISTING.)

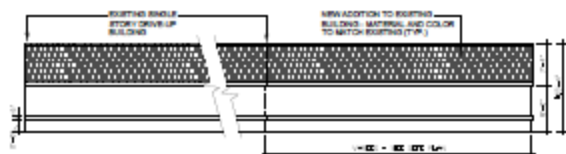
EXISTING RENTAL OFFICE - TO REMAIN. PAINT AND MAKE REPAIRS AS NEEDED. ALL COLORS TO MATCH EXISTING.

EXISTING 1-STORY DRIVE UP BLDG. W/ ADDITION (MATERIALS AND COLORS TO MATCH EXISTING)

ADJACENT PROPERTY - (PET HELPER'S ADOPTION CENTER)

NEW 3-STORY CONDITIONED BLDG.

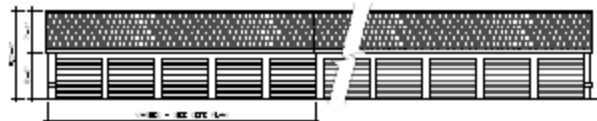
RE: SHEET A2.01 & A2.02 FOR THIS NEW BUILDING LAYOUT



REAR ELEVATION 3
SCALE: 1/8" = 1'-0"



END ELEVATION 3
SCALE: 1/8" = 1'-0"



SIDE ELEVATION 3
SCALE: 1/8" = 1'-0"

LITTLE

ARCHITECTS, INC.

11000 W. 11TH AVENUE
DENVER, CO 80202
303.751.1100

Public Storage
PUBLIC STORAGE, INC.
NEW YORK, NY 10001

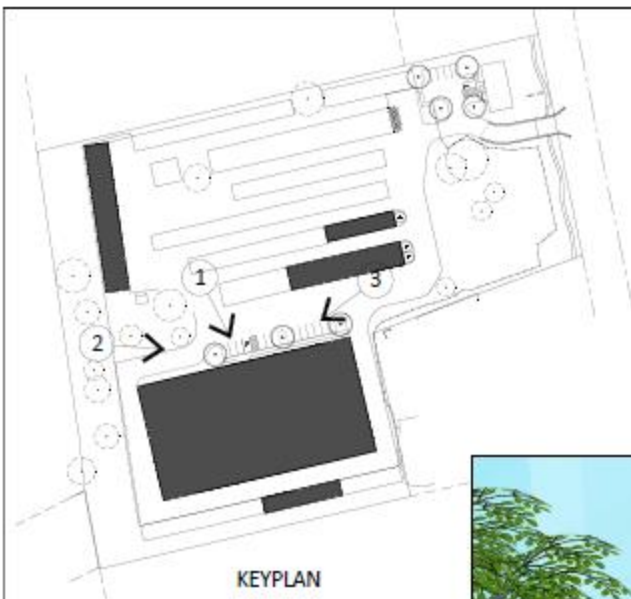
PUBLIC STORAGE
REMODEL / EXPANSION
1439 FOLLY ROAD
CHARLESTON, SC 29412

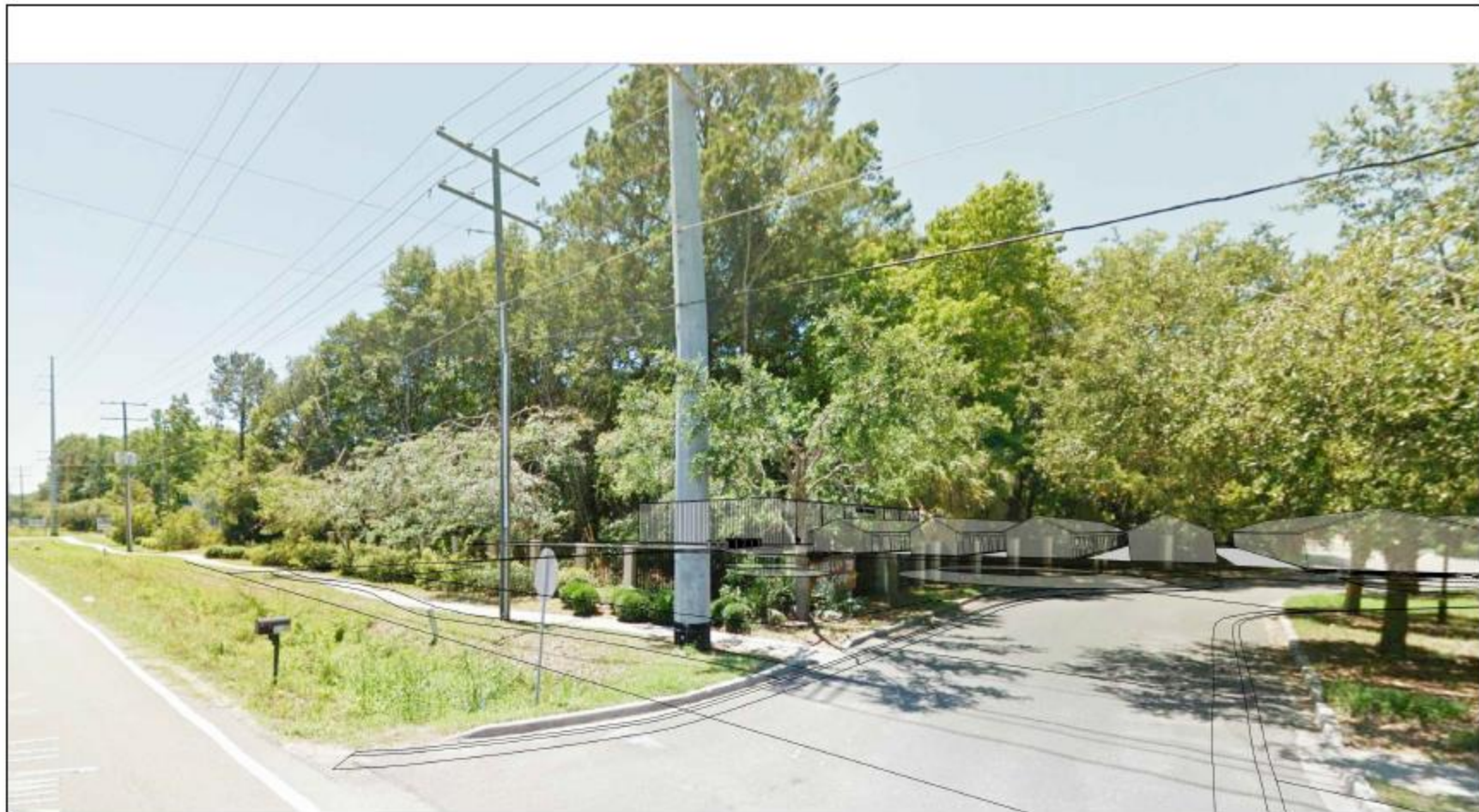
Prep: T. Manning, AIA
Design: T. Manning, AIA
Drawn: T. Manning, AIA

NO.	DESCRIPTION	DATE
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2	DESIGN	10/1/11
3	DRAWING	10/1/11
4	REVISION	10/1/11
5	REVISION	10/1/11
6	REVISION	10/1/11
7	REVISION	10/1/11
8	REVISION	10/1/11
9	REVISION	10/1/11
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18	REVISION	10/1/11
19	REVISION	10/1/11
20	REVISION	10/1/11

EXTERIOR ELEVATIONS
DRIVE-UP BLDG
ADDITIONS
121.6252.00

10/21/11 A2.02





LITTLE
 ENGINEERING, INC.
 11000 W. 11th Street, Suite 100
 Overland Park, KS 66211
 (913) 666-1100
 www.little-engineering.com

Public Storage
 PUBLIC STORAGE, INC.
 1439 POLLY ROAD
 CHARLESTON, SC 29412

PUBLIC STORAGE
 REMODEL / EXPANSION
 1439 POLLY ROAD
 CHARLESTON, SC 29412

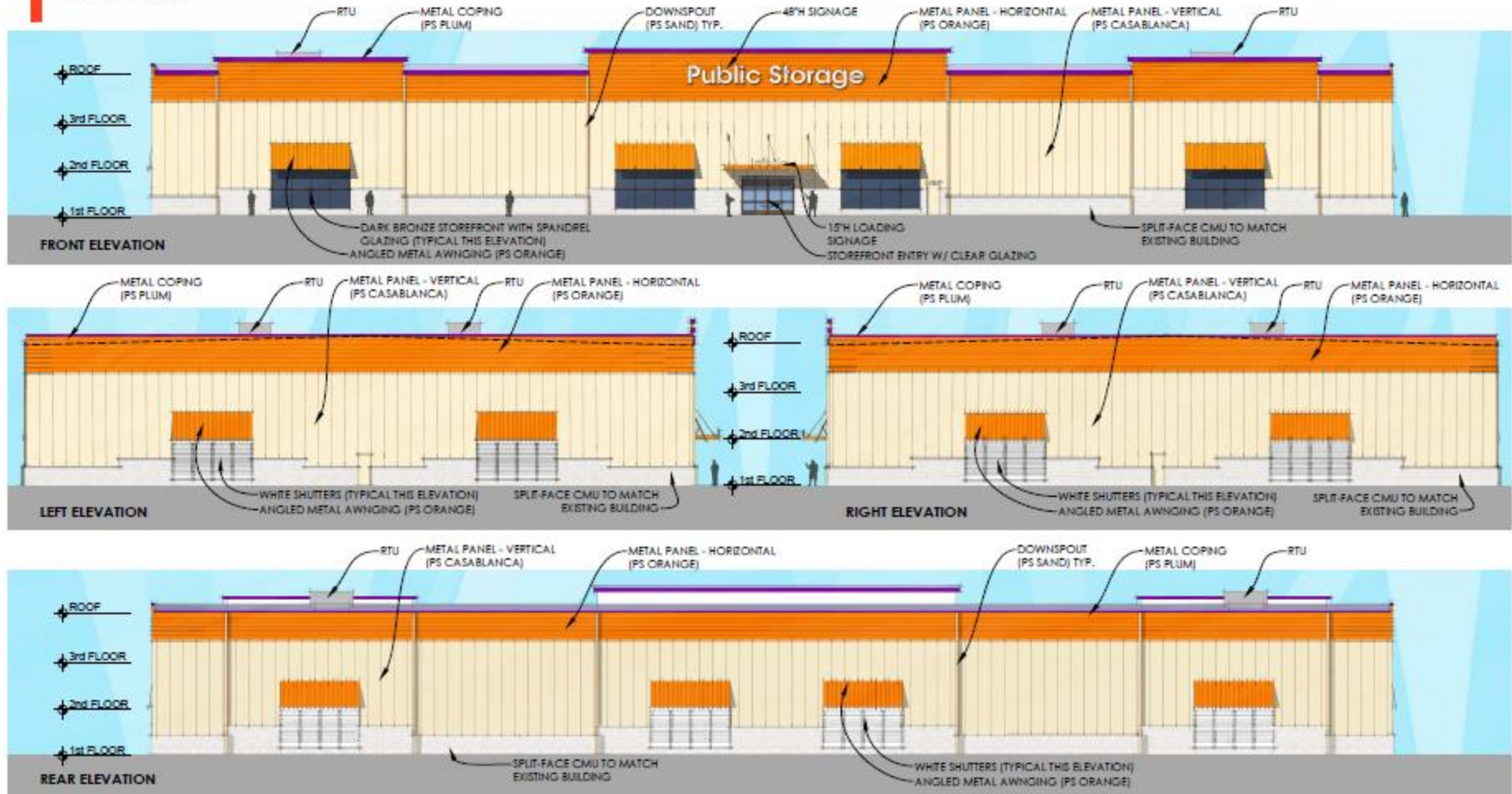
Prepared By: Ryan T. Monahan, AIA
 Checked By: Robert T. Walker
 Date: 11/11/2020

NO.	DESCRIPTION	DATE	BY
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STREETVIEW
 OVERLAY
 PERSPECTIVE

121.6252.00

PUBLIC STORAGE - CHARLESTON, SC
FOLLY ROAD
SEPTEMBER 30, 2016



PUBLIC STORAGE - CHARLESTON, SC
FOLLY ROAD
SEPTEMBER 30, 2016



Agenda Item 5:

1406 Savannah Highway

Request Conceptual approval for new construction of a convenience store/gas station as per documentation submitted.



N
SITE - AERIAL
SCALE: NOT TO SCALE

A001

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION & CONVENIENCE STORE

at Savannah Highway & Wainwright Boulevard
Charleston, South Carolina



CONTEXT MAP



SITE - VIEW 1 - WANTOOT BLVD. TOWARDS SITE

SCALE: NOT TO SCALE



SITE - VIEW 2 - SAVANNAH HWY. ACROSS FROM SITE

SCALE: NOT TO SCALE

SITE - PANORAMA PICTURES
SCALE: NOT TO SCALE

A002

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION &
CONVENIENCE STORE

at Savannah Highway & Wantoot Boulevard
Charleston, South Carolina



CONTEXT PHOTOS



SITE - VIEW 3 - SAVANNAH HWY. TOWARDS WANTOOT
SCALE: NOT TO SCALE

SGA
 ARCHITECTURE
 LAND PLANNING
 LANDSCAPE ARCHITECTURE

**VGO GAS STATION &
 CONVENIENCE STORE**

at Savannah Highway & Wantoot Boulevard
 Charleston, South Carolina

SITE - PANORAMA PICTURES
SCALE: NOT TO SCALE

A003



CONTEXT PHOTOS

APPLICANT PRESENTATION

VGO GAS STATION & CONVENIENCE STORE

CHARLESTON, SC

DRB CONCEPTUAL REVIEW -
NOVEMBER 7, 2016



LOCATION MAPS

OWNER :

VGO HOLDINGS, LLC
501 MOSSY LEDGE LN
SIMPSONVILLE, SC 29881-3712

ARCHITECTURE & LANDSCAPE ARCHITECTURE :

SGA ARCHITECTURE
804 MEETING STREET, SUITE 103
CHARLESTON, SC 29403

CIVIL ENGINEER :

RYAN SANDS, PE/CCAD ENGINEERING
CHARLESTON BRANCH
P.O. BOX 21786
CHARLESTON, SC 29413

SHEET INDEX

T001	COVER SHEET
G001	SHEET INDEX
A001	SITE - AERIAL
A002	SITE - PANORAMA PICTURES
A003	SITE - PANORAMA PICTURES
A100	PROPOSED SITE PLAN
A101	FLOOR FLOOR PLAN
RG01	AERIAL 1 - VIEW FACING WEST
RG02	AERIAL 2 - VIEW FACING EAST
RG11	STREETSCAPES
A201	PROPOSED ELEVATIONS
A220	PERSPECTIVES
A221	PERSPECTIVES
A222	PERSPECTIVES
A400	MATERIALS

SHEET INDEX

G001



SITE - AERIAL
SCALE: NOT TO SCALE

A001

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION & CONVENIENCE STORE

at Savannah Highway & Walnut Boulevard
Charleston, South Carolina





SITE - VIEW 1 - WANTOOT BLVD. TOWARDS SITE

SCALE: NOT TO SCALE



SITE - VIEW 2 - SAVANNAH HWY. ACROSS FROM SITE

SCALE: NOT TO SCALE

SITE - PANORAMA PICTURES

SCALE: NOT TO SCALE

A002

SGA
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LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION & CONVENIENCE STORE

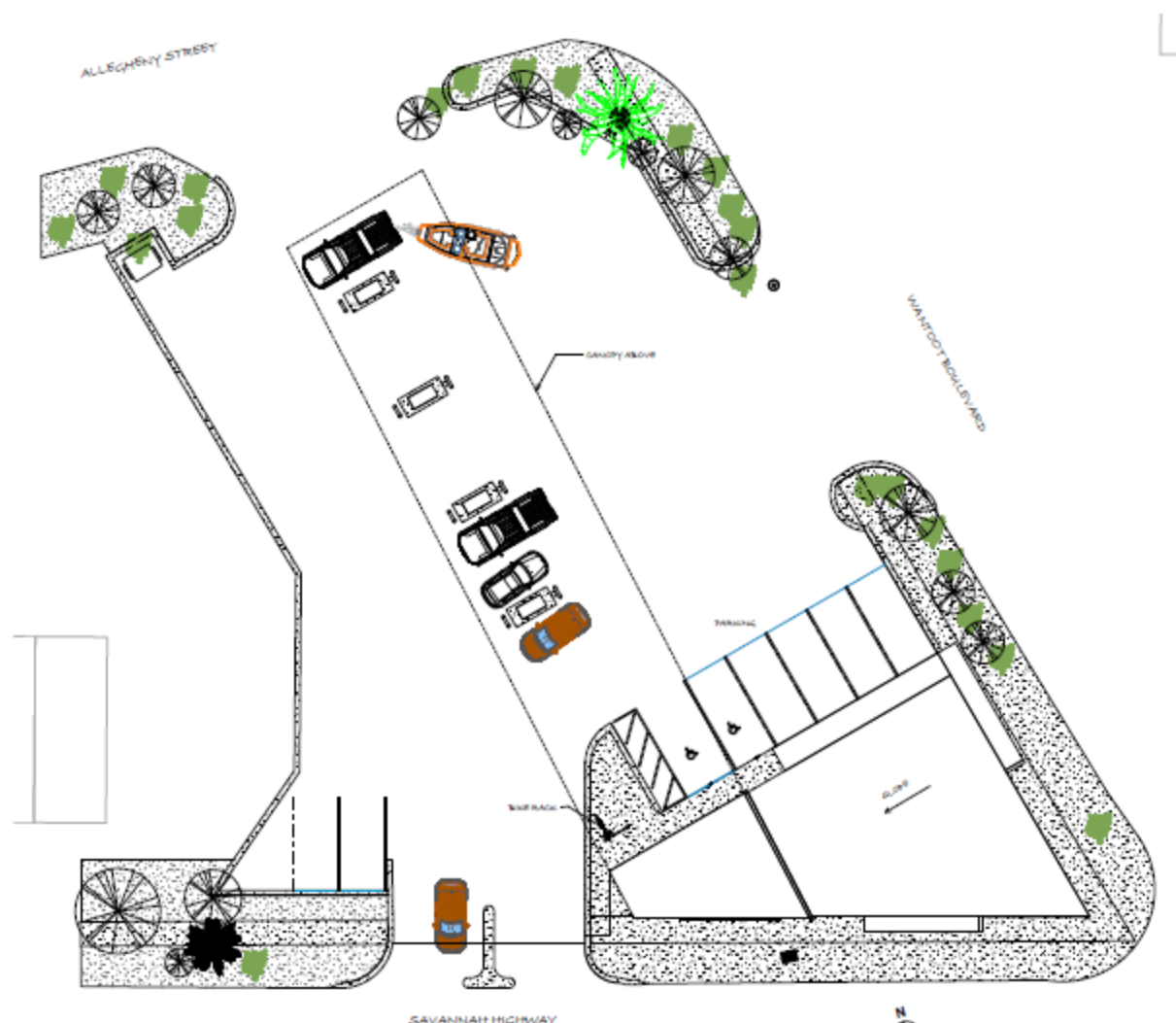
at Savannah Highway & Wantoot Boulevard
Charleston, South Carolina





SITE - VIEW 3 - SAVANNAH HWY. TOWARDS WANTOOT

SCALE: NOT TO SCALE



VGO GAS STATION & CONVENIENCE STORE

at Savannah Highway & Waverly Boulevard
Charleston, South Carolina

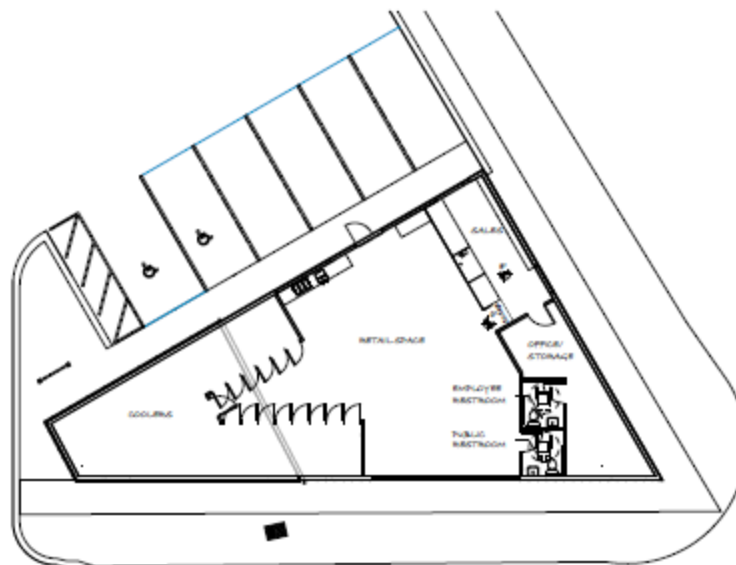


PROPOSED SITE PLAN

A100

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE





PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"

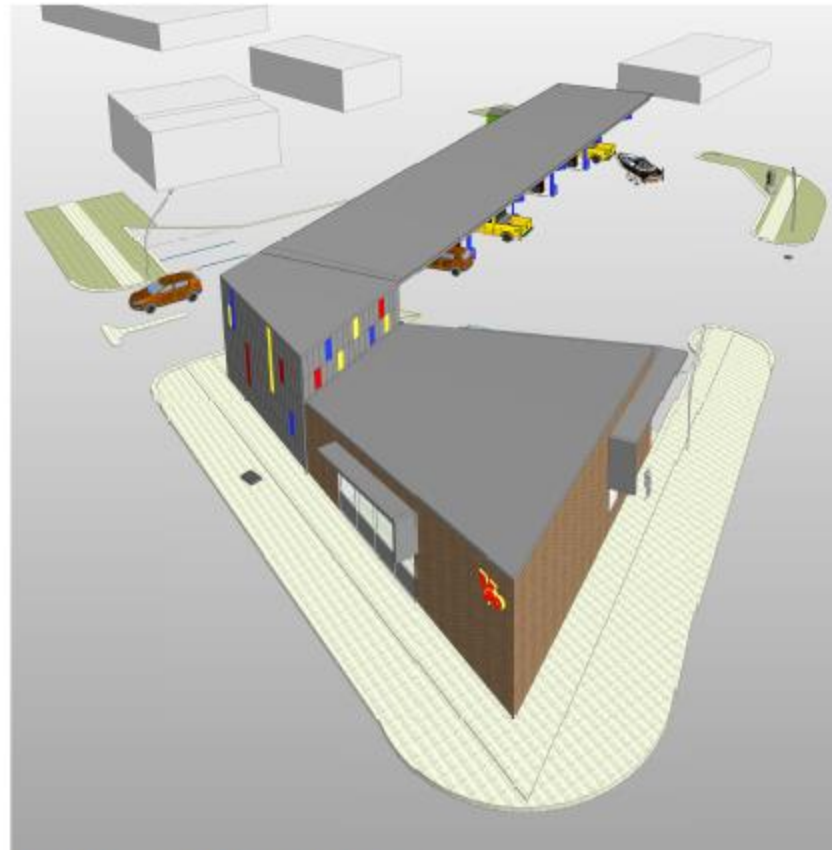
A101

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION & CONVENIENCE STORE

at Savannah Highway & Waverly Boulevard
Charleston, South Carolina





AERIAL 1 - VIEW FACING WEST

SCALE: NOT TO SCALE

AERIAL VIEW
SCALE: NOT TO SCALE

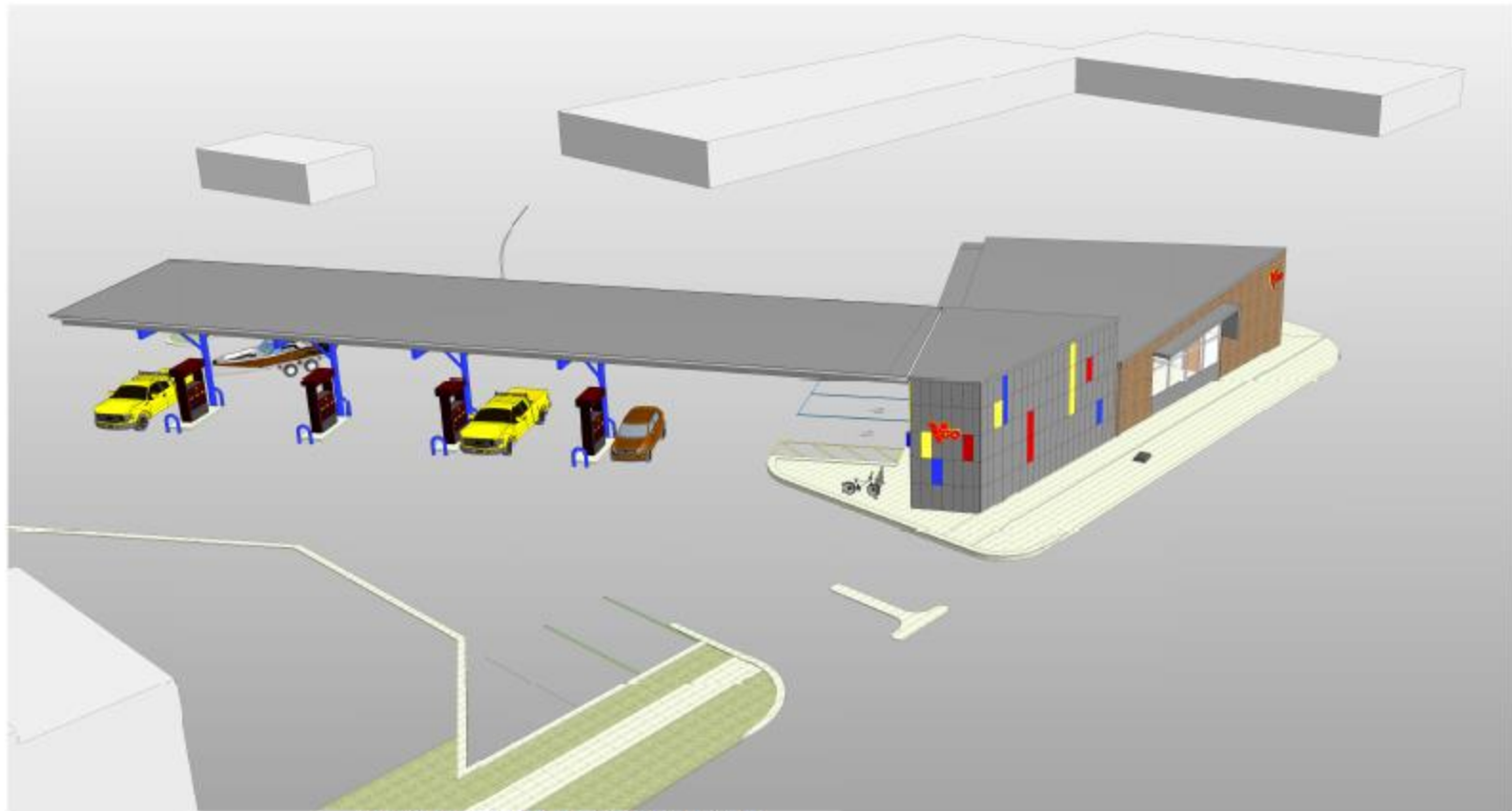
RG01

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION & CONVENIENCE STORE

at Savannah Highway & Wauchope Boulevard
Charleston, South Carolina





AERIAL 2 - VIEW FACING EAST

SCALE: NOT TO SCALE

AERIAL VIEW
SCALE: NOT TO SCALE

RG02

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION & CONVENIENCE STORE

at Savannah Highway & Wauchope Boulevard
Charleston, South Carolina





STREETSCAPE - SAVANNAH HWY. LOOKING NORTH

SCALE: 1/8" = 1'-0"



STREETSCAPE - WANTOOT BLVD. LOOKING EAST

SCALE: 1/8" = 1'-0"

STREETSCAPES
SCALE: 1/8" = 1'-0"

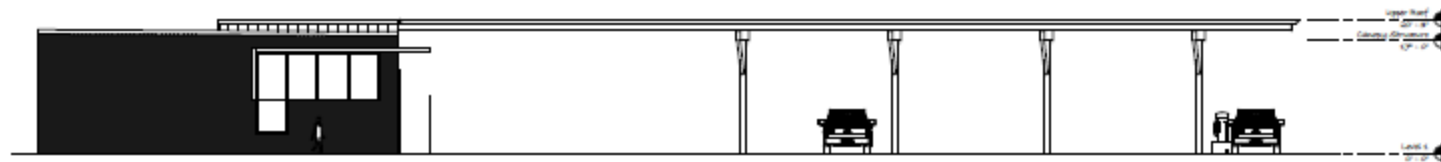
RG11

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION &
CONVENIENCE STORE

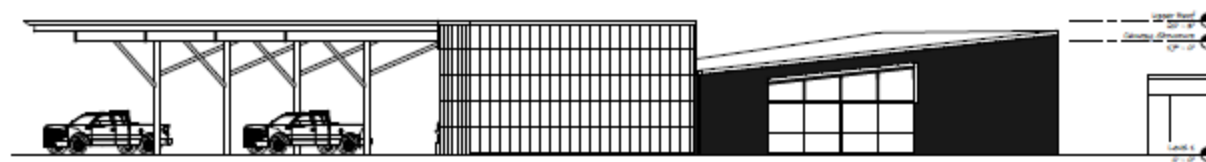
at Savannah Highway & Wantoot Boulevard
Charleston, South Carolina





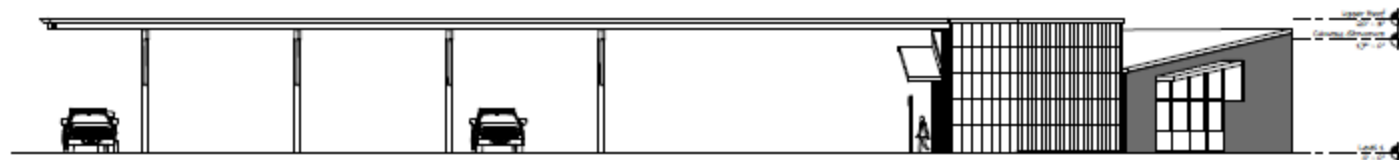
WANTOOT BLVD. - EAST ELEVATION

SCALE: 1/8" = 1'-0"



SAVANNAH HWY. - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

PROPOSED ELEVATIONS
SCALE: 1/8" = 1'-0"

A201

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

**VGO GAS STATION &
CONVENIENCE STORE**

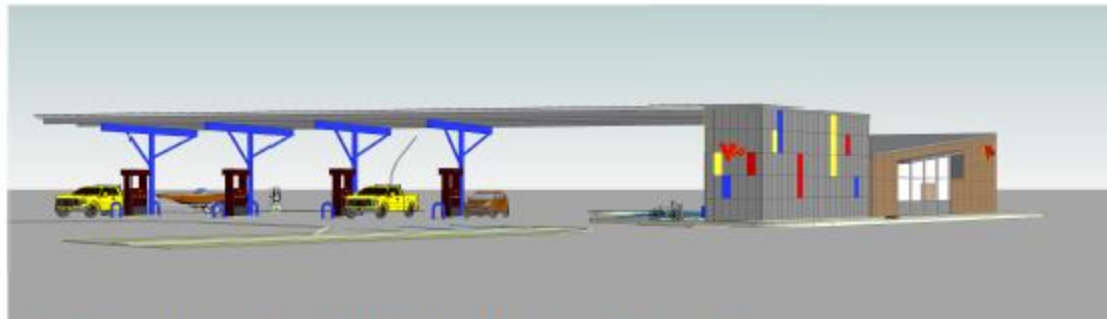
at Savannah Highway & Wantoot Boulevard
Charleston, South Carolina





PERSPECTIVE 1 - SAVANNAH HIGHWAY FACING NORTH

SCALE: NOT TO SCALE

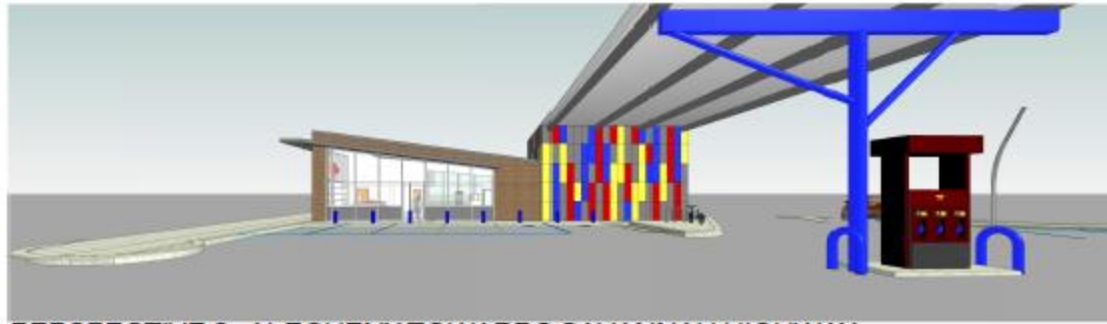


PERSPECTIVE 2 - SAVANNAH HIGHWAY FACING EAST

SCALE: NOT TO SCALE

PERSPECTIVES
SCALE: NOT TO SCALE

A211



PERSPECTIVE 3 - ALEGHENY TOWARDS SAVANNAH HIGHWAY

SCALE: NOT TO SCALE



PERSPECTIVE 4 - SITE ACCESS FROM WANTOOT BLVD.

SCALE: NOT TO SCALE

PERSPECTIVES
SCALE: NOT TO SCALE

A212

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ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION &
CONVENIENCE STORE

at Savannah Highway & Wantoot Boulevard
Charleston, South Carolina



BUILDING



RUNNING BOND BRICK



METAL PANELS - EXAMPLE



STOREFRONT - EXAMPLE



ACCENT COLORS



CANOPY - EXAMPLE

LANDSCAPING



GROUND COVER

MATERIALS

A400

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

VGO GAS STATION &
CONVENIENCE STORE

at Savannah Highway & Veterans Boulevard
Charleston, South Carolina



Agenda Item 6:

813 Dupont Road

Request Conceptual approval for new construction of a multi-family development as per documentation submitted.



CONTEXT MAP



SITE - AERIAL
SCALE: NOT TO SCALE
PHOTO SHEET A002 REFERENCE



SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT
at Dupont Road & Dulsey Road
Charleston, South Carolina

SHEET INDEX

T001	COVER SHEET
A001	SITE - AERIAL & SHEET INDEX
A002	SITE PHOTOGRAPHS
A003	STREET SCAPES
L101	PROPOSED SITE PLAN
A101	OVERALL FIRST FLOOR PLAN
A102	OVERALL SECOND FLOOR PLAN
A103	OVERALL THIRD FLOOR PLAN
A151	OVERALL ROOF PLAN
A201	DUPONT ROAD ELEVATION - FACING EAST
A202	DULSEY ROAD ELEVATION - FACING SOUTH
A203	REAR ELEVATION - FACING NORTH
A204	REAR ELEVATION - FACING WEST
RG01	STREET PERSPECTIVE - FACING EAST & SOUTH
RG02	AERIAL VIEW - FACING NORTH & WEST
RG03	MATERIALS

SITE - AERIAL & SHEET INDEX
SCALE: NOT TO SCALE

AC01

greenway
RENDERING DEVELOPMENT, LLC

CONTEXT MAP



VIEW 1 - DUPONT RD



VIEW 2 - DUPONT RD



VIEW 3 - INTERSECTION OF DUPONT RD
& DULSEY RD



VIEW 4 - DULSEY RD



VIEW 5 - DULSEY RD



VIEW 6 - SITE PANORAMA

SITE PHOTOGRAPHS
SCALE: NOT TO SCALE

A002

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Dulsey Road
Charleston, South Carolina

greenway
RESIDENTIAL DEVELOPMENT, LLC

CONTEXT PHOTOS

APPLICANT PRESENTATION



THE OAKS AT DUPONT **AFFORDABLE HOUSING** CHARLESTON, SOUTH CAROLINA TMS # 3511300047

DRB CONCEPTUAL REVIEW
 NOVEMBER 7, 2016

SGA ARCHITECTURE
 COMMISSION NO. 16057

PROPERTY OWNER:

THE OAKS AT DUPONT, LLC
 (GREENWAY RESIDENTIAL DEVELOPMENT, LLC)
 22120 FAIRVIEW CENTER DR., 3150
 FAIRVIEW PARK, OH 44126
 CONTACT: DAVID L. SW

ARCHITECTURE & LANDSCAPE ARCHITECTURE:

SGA ARCHITECTURE, LLC
 804 MEETING STREET, SUITE 103
 CHARLESTON, SC 29403
 CONTACT: LUDA SOBCHUK

CIVIL ENGINEERING:

CAROLINA ENGINEERING CONSULTANTS, INC.
 P.O. BOX 254
 BEAUFORT, SC 29901
 CONTACT: DAVID KARLYK



LOCATION MAPS
 SCALE: NOT TO SCALE





SITE - AERIAL
SCALE: NOT TO SCALE
PHOTO SHEET A002 REFERENCE



SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Dulsey Road
Charleston, South Carolina

SHEET INDEX

T001	COVER SHEET
A001	SITE - AERIAL & SHEET INDEX
A002	SITE PHOTOGRAPHS
A003	STREET SCAPES
L101	PROPOSED SITE PLAN
A101	OVERALL FIRST FLOOR PLAN
A102	OVERALL SECOND FLOOR PLAN
A103	OVERALL THIRD FLOOR PLAN
A151	OVERALL ROOF PLAN
A201	DUPONT ROAD ELEVATION - FACING EAST
A202	DULSEY ROAD ELEVATION - FACING SOUTH
A203	REAR ELEVATION - FACING NORTH
A204	REAR ELEVATION - FACING WEST
RG01	STREET PERSPECTIVE - FACING EAST & SOUTH
RG02	AERIAL VIEW - FACING NORTH & WEST
RG03	MATERIALS

SITE - AERIAL & SHEET INDEX
SCALE: NOT TO SCALE

AC01





VIEW 1 - DUPONT RD



VIEW 2 - DUPONT RD



VIEW 3 - INTERSECTION OF DUPONT RD
& DULSEY RD



VIEW 4 - DULSEY RD



VIEW 5 - DULSEY RD



VIEW 6 - SITE PANORAMA

SITE PHOTOGRAPHS
SCALE: NOT TO SCALE

A002

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Dulsey Road
Charleston, South Carolina

greenway
REDUCING THE DEVELOPMENT, LLC



DUPONT ROAD STREET SCAPES - FACING EAST - VIEW 1

SCALE: 1" = 30'



DUPONT ROAD STREET SCAPES - FACING WEST - VIEW 2

SCALE: 1" = 30'



STREET SCAPES
SCALE: VARIES

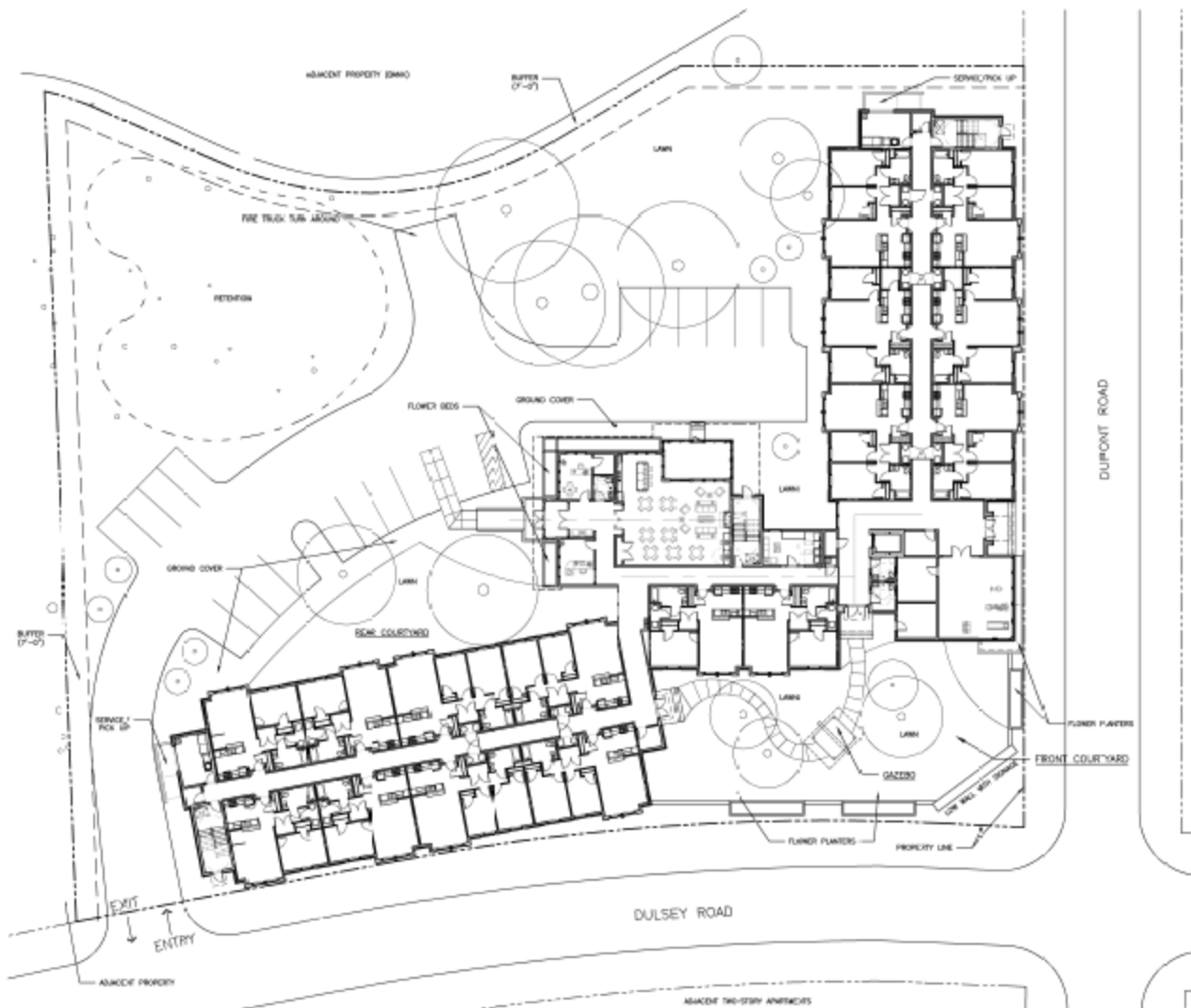
A003

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Dulsey Road
Charleston, South Carolina

greenway
REDWOOD & DEVELOPMENT, LLC



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

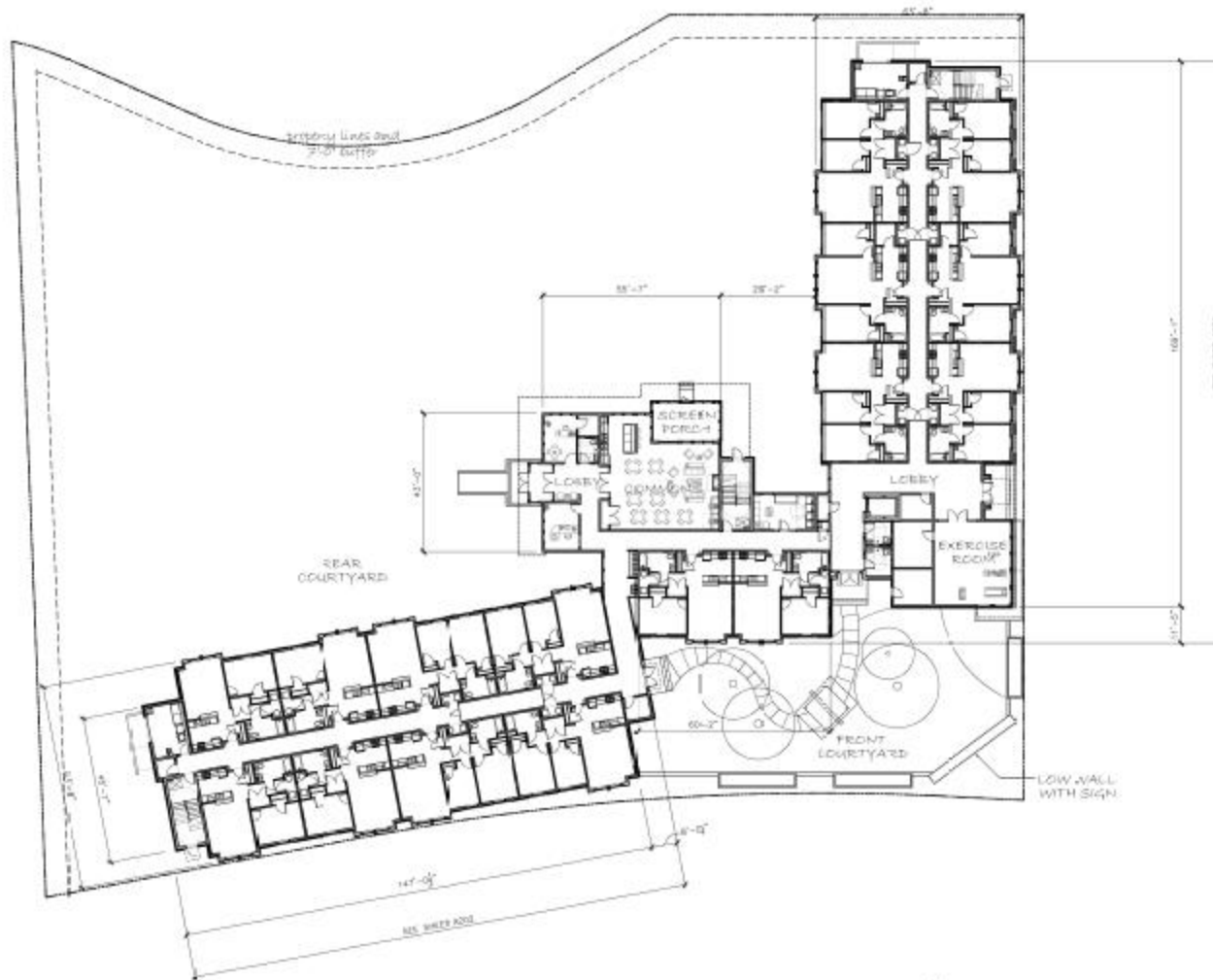
L101

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

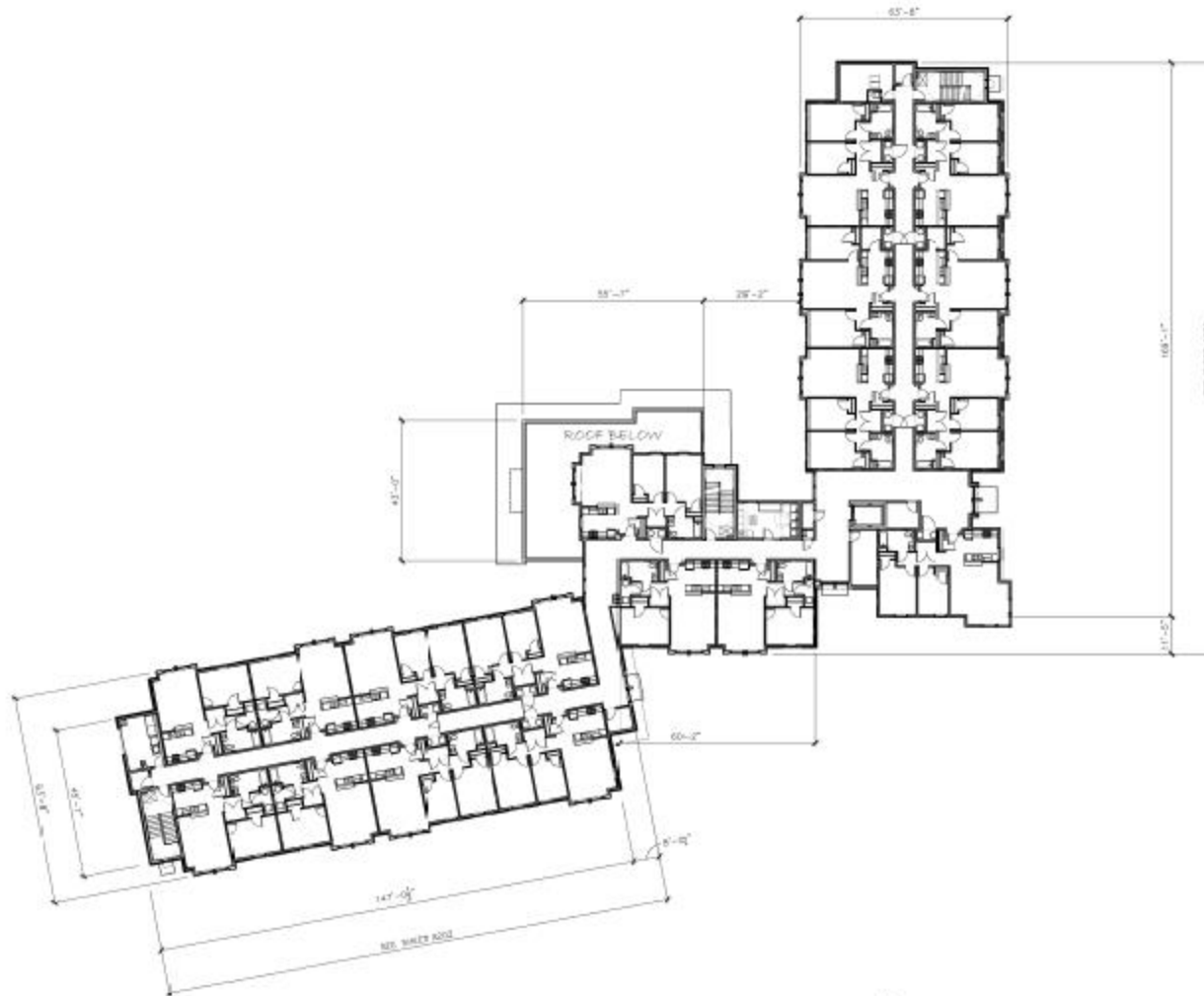
at Dupont Road & Dulsey Road
Charleston, South Carolina

greenway
REDIRECT AL DEVELOPMENT, LLC



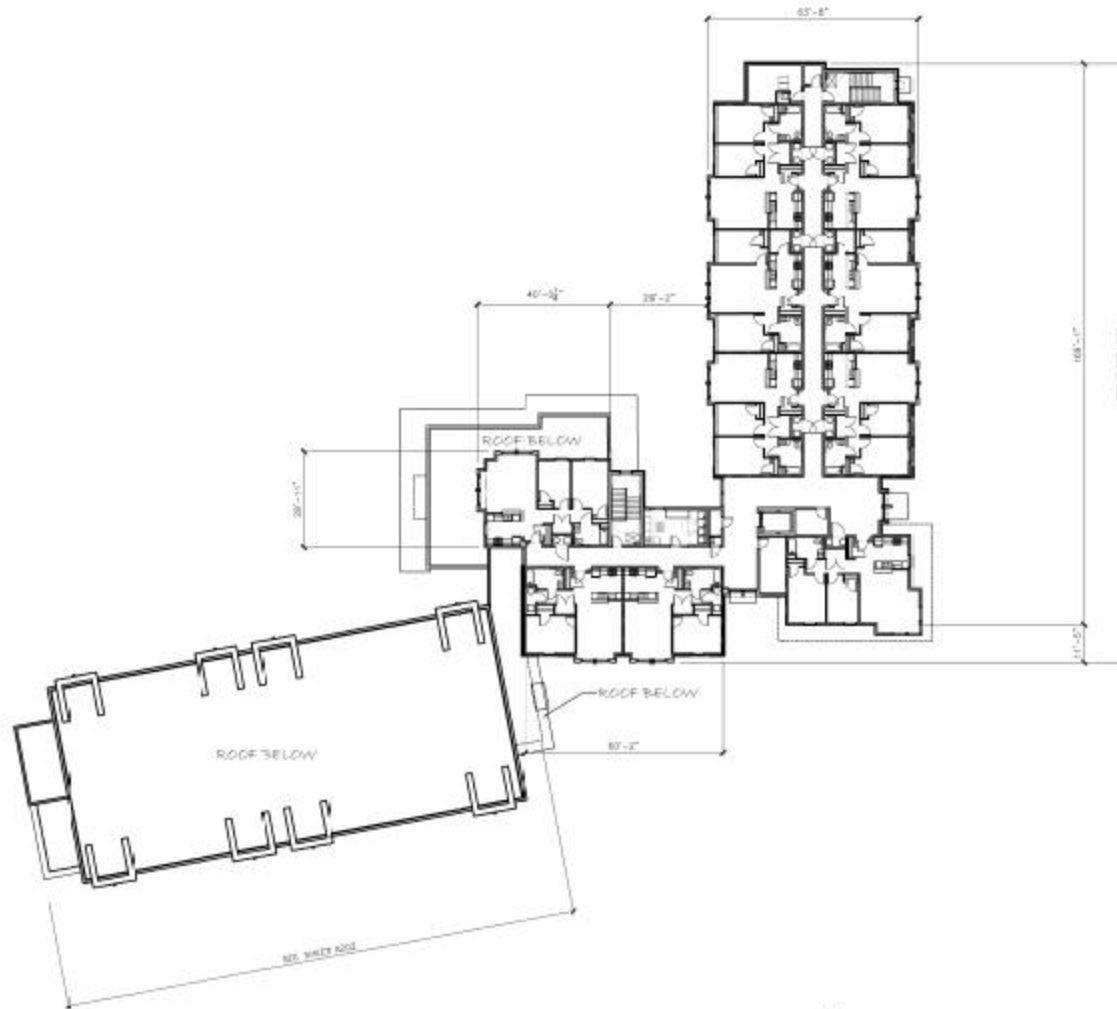
OVERALL FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

A101



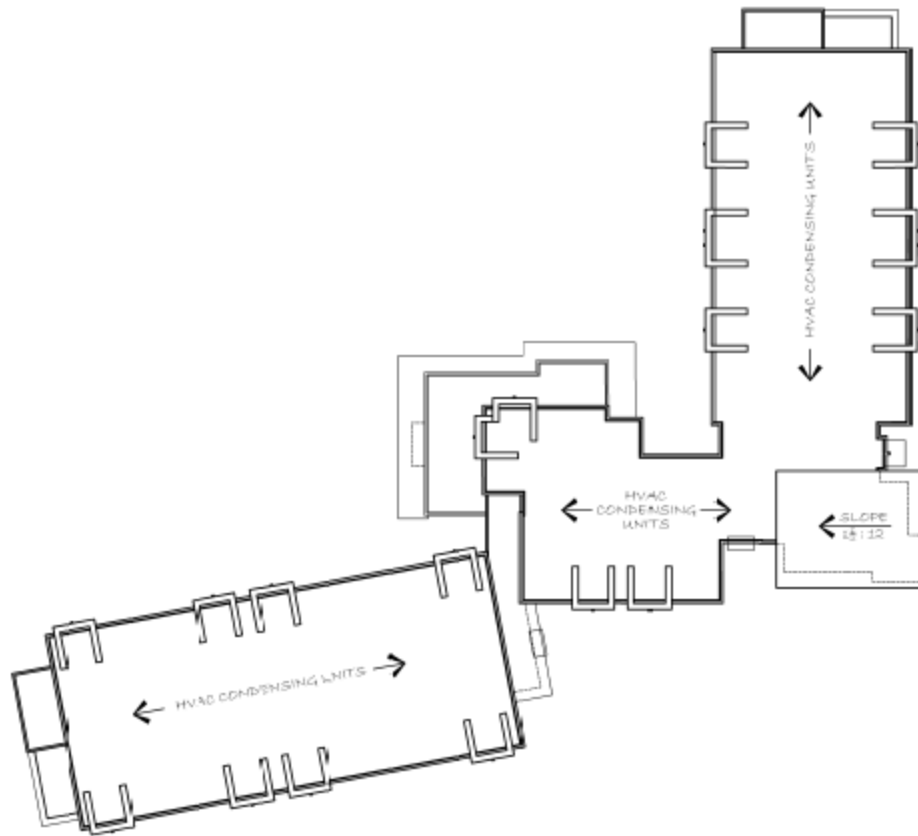
OVERALL SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

A102



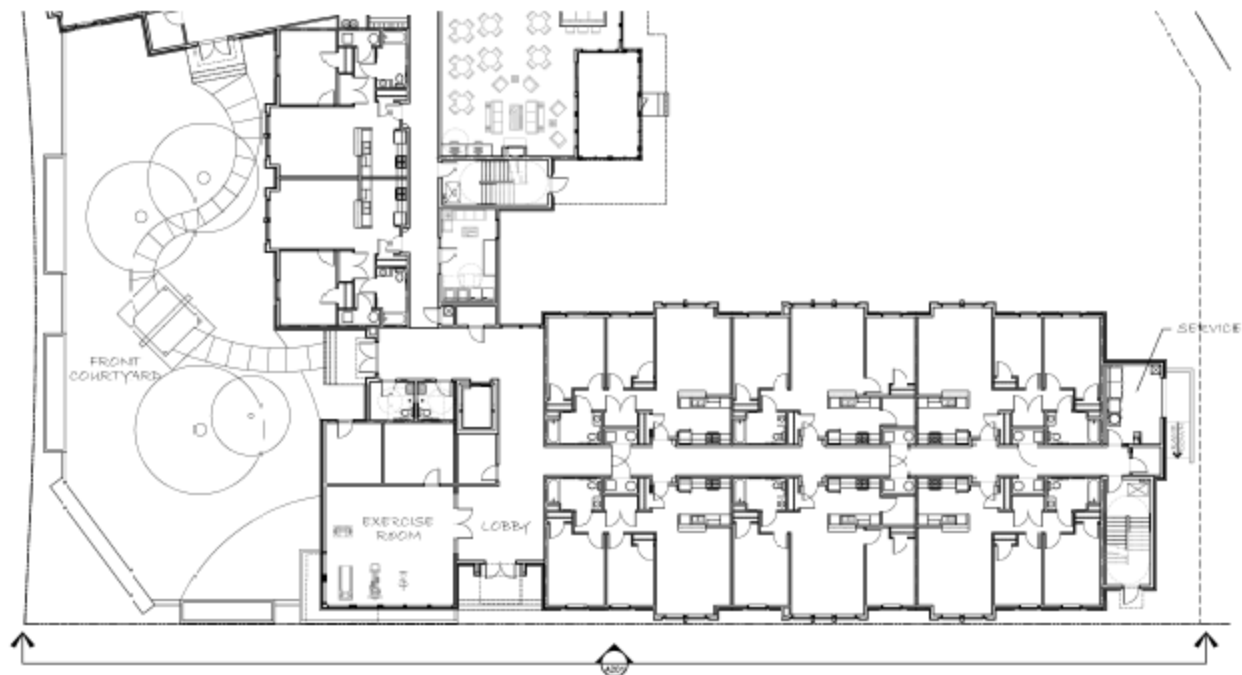
OVERALL THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"

A103



OVERALL ROOF PLAN
SCALE: 1/16" = 1'-0"

A151



PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"



DUPONT ROAD ELEVATION - FACING EAST

SCALE: 3/32" = 1'-0"

A201

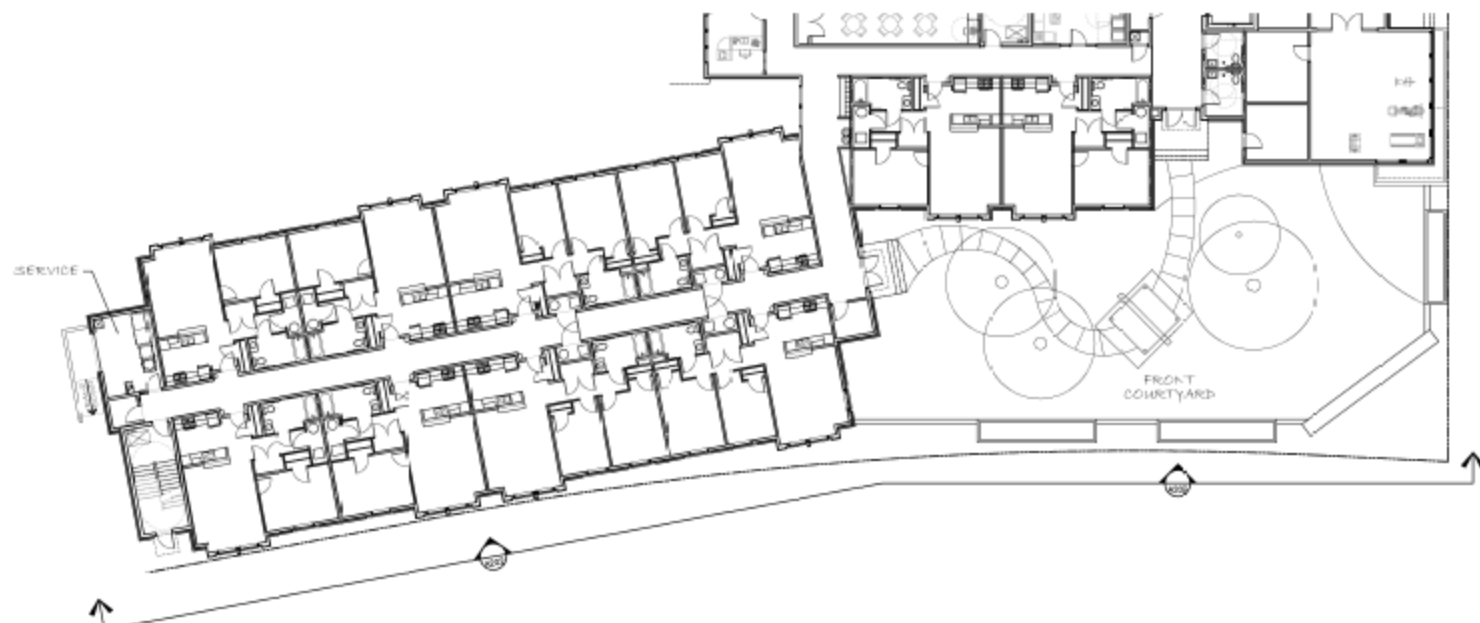
SGA

ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Pulsey Road
Charleston, South Carolina





DULSEY ROAD ELEVATION - FACING SOUTH
SCALE: 3/32" = 1'-0"

A202

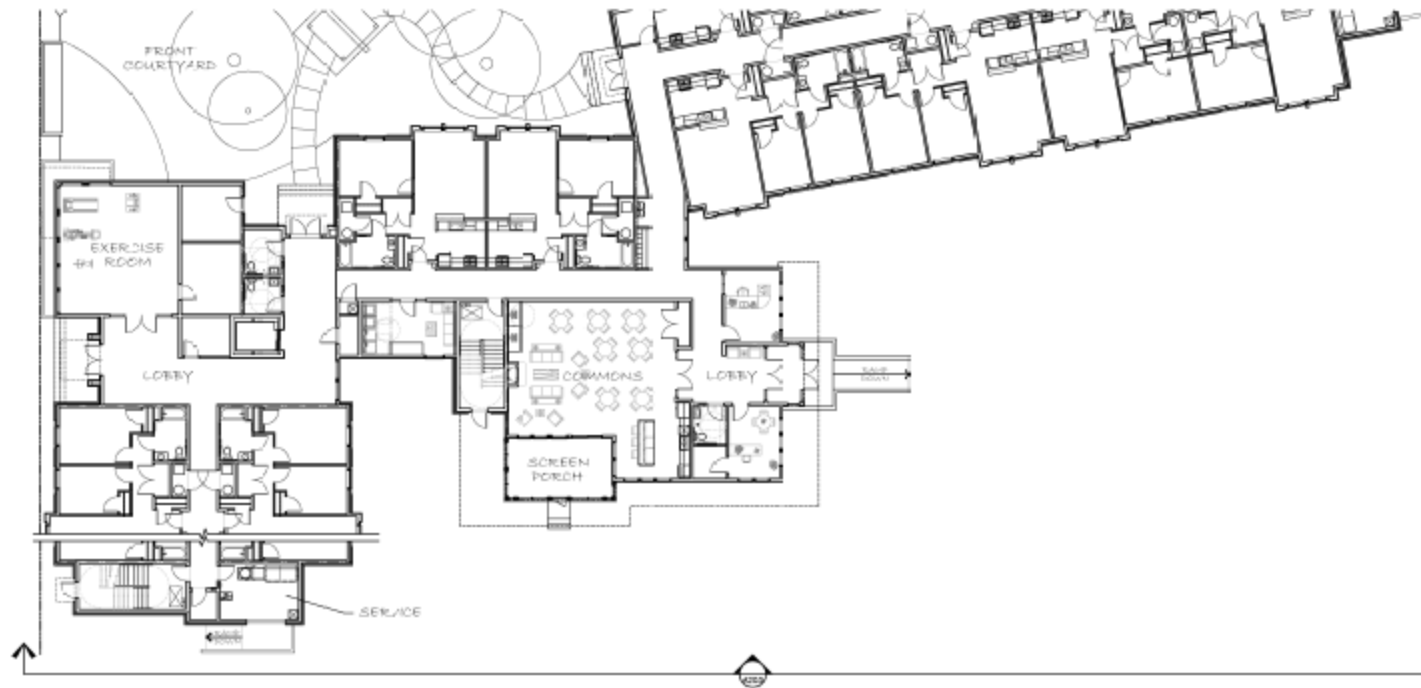
SGA

ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Dulsey Road
Charleston, South Carolina





PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"



REAR ELEVATION - FACING NORTH

SCALE: 3/32" = 1'-0"

A203

SGA

ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Dulsey Road
Charleston, South Carolina





SERVICE

PARTIAL FLOOR PLAN
SCALE: 3/32" = 1'-0"



REAR ELEVATION - FACING WEST
SCALE: 3/32" = 1'-0"

A204

SGA

ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Pulsey Road
Charleston, South Carolina





STREET PERSPECTIVE - FACING EAST & SOUTH
SCALE: NOT TO SCALE

RG01

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Pulsey Road
Charleston, South Carolina

greenway
RESIDENTIAL DEVELOPMENT, LLC



AERIAL VIEW - FACING NORTH & WEST
SCALE: NOT TO SCALE

RG02

SGA
ARCHITECTURE
LAND PLANNING
LANDSCAPE ARCHITECTURE

THE OAKS AT DUPONT

at Dupont Road & Pulsey Road
Charleston, South Carolina

greenway
RESIDENTIAL DEVELOPMENT, LLC



RUNNING BOND BRICK



DUTCH LAP

CEMENTITIOUS SIDING



CEMENTITIOUS PANEL



CREPE MYRTLE

TREES



WINDOW

BUILDING



GROUND COVER

LANDSCAPING

MATERIALS
SCALE: NOT TO SCALE

RG03

Agenda Item 7:

Main Road at Brownswood Road

Request Conceptual approval for new construction of a multi-family development as per documentation submitted.



CONTEXT MAP



CONTEXT PHOTOS



CONTEXT PHOTOS



CONTEXT PHOTOS



CONTEXT PHOTOS

APPLICANT PRESENTATION













PREVIOUS BUILDING 100





PREVIOUS BUILDING 100





PREVIOUS BUILDING 200



SCALE: 1/8" = 1'-0"

CURRENT BUILDING 200



2 BUILDING 200 WEST ELEVATION
1/8" = 1'-0"

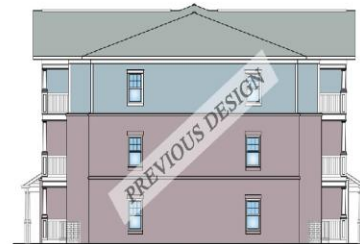


1 BUILDING 200 EAST ELEVATION
1/8" = 1'-0"

PREVIOUS BUILDING 200



2 BUILDING 200 WEST ELEVATION
1/8" = 1'-0"



1 BUILDING 200 EAST ELEVATION
1/8" = 1'-0"

SLIDE 11





LEFT ELEVATION

1/8" = 1'-0" FROM PARKING LOT FACE 10/25/2016



RIGHT ELEVATION

1/8" = 1'-0" FROM PARKING LOT FACE 10/25/2016



REAR ELEVATION

1/8" = 1'-0" STREET FACING 10/25/2016



FRONT ELEVATION

1/8" = 1'-0" PARKING LOT FACING 10/25/2016



REAR ELEVATION

1/8" = 1'-0" STREET FACING

10/25/16



LEFT ELEVATION

1/8" = 1'-0" FROM PARKING LOT FACE

10/25/16



RIGHT ELEVATION

1/8" = 1'-0" FROM PARKING LOT FACE

10/25/16



FRONT ELEVATION

1/8" = 1'-0" PARKING LOT FACING

10/25/16

SLIDE 13

PREVIOUS VIGNETTE NO.1



CURRENT VIGNETTE NO.1



OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA 8/6/16

SLIDE 14

CURRENT VIGNETTE NO. 1



OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA

10/25/16

SLIDE 15

• MARTIN HILLY ASSOCIATES - ARCHITECTS, P.C. •

PREVIOUS VIGNETTE NO. 2



OAKSIDE APARTMENTS
JOHNS ISLAND, SOUTH CAROLINA 10/6/05

CURRENT VIGNETTE NO. 2



OAKSIDE APARTMENTS
JOHNS ISLAND, SOUTH CAROLINA 10/22/06

SLIDE 16

CURRENT VIGNETTE NO. 2



OAKSIDE APARTMENTS

JOHN'S ISLAND, SOUTH CAROLINA

10/25/16

SLIDE 17

MARTIN HILLY ASSOCIATES - ARCHITECTS, P.C.

PREVIOUS VIGNETTE NO.3



OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA 10/06

CURRENT VIGNETTE NO.3



OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA 10/2016

SLIDE 18

CURRENT VIGNETTE NO. 3



OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA

10/25/16

SLIDE 19

• MARTIN HILAY ASSOCIATES - ARCHITECTS, P.C. •

PREVIOUS VIGNETTE NO.4



OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA 10/2010

CURRENT VIGNETTE NO.4



OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA 10/2010

SLIDE 20

CURRENT VIGNETTE NO. 4



OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA

10/25/16

SLIDE 21

• MARTIN HILLY ASSOCIATES - ARCHITECTS, P.C. •

PREVIOUS VIGNETTE NO.5



OAKSIDE APARTMENTS
JOHN'S BRANCH, CITY OF CAROLINA 10/20/15

CURRENT VIGNETTE NO.5



OAKSIDE APARTMENTS
JOHN'S BRANCH, CITY OF CAROLINA 10/20/15

SLIDE 22

CURRENT VIGNETTE NO. 5

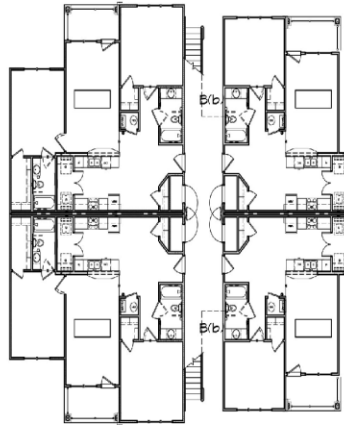


OAKSIDE APARTMENTS
JOHN'S ISLAND, SOUTH CAROLINA

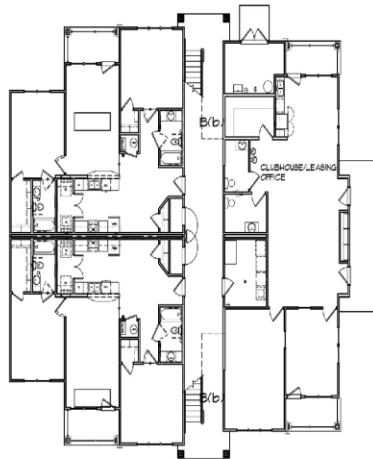
10/25/16

SLIDE 23

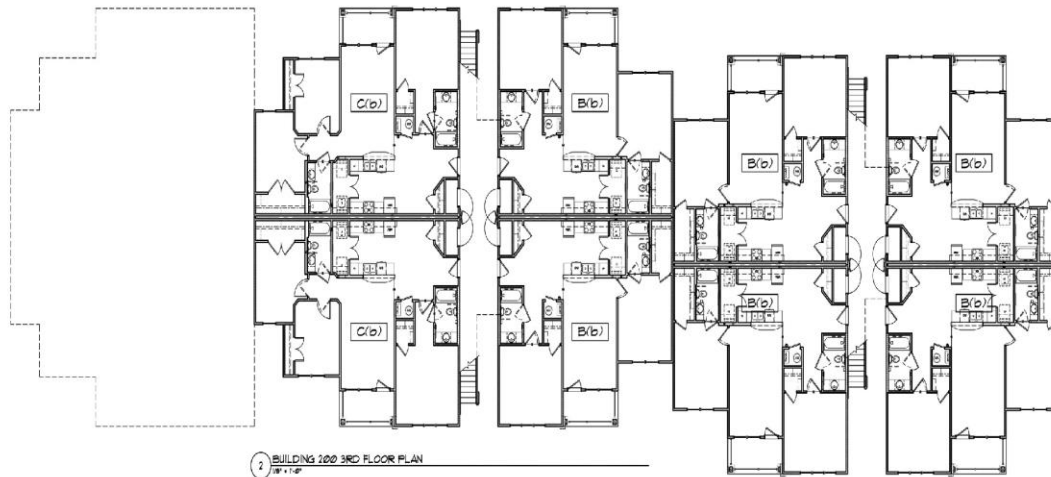
• MARTIN HILLY ASSOCIATES - ARCHITECTS, P.C. •



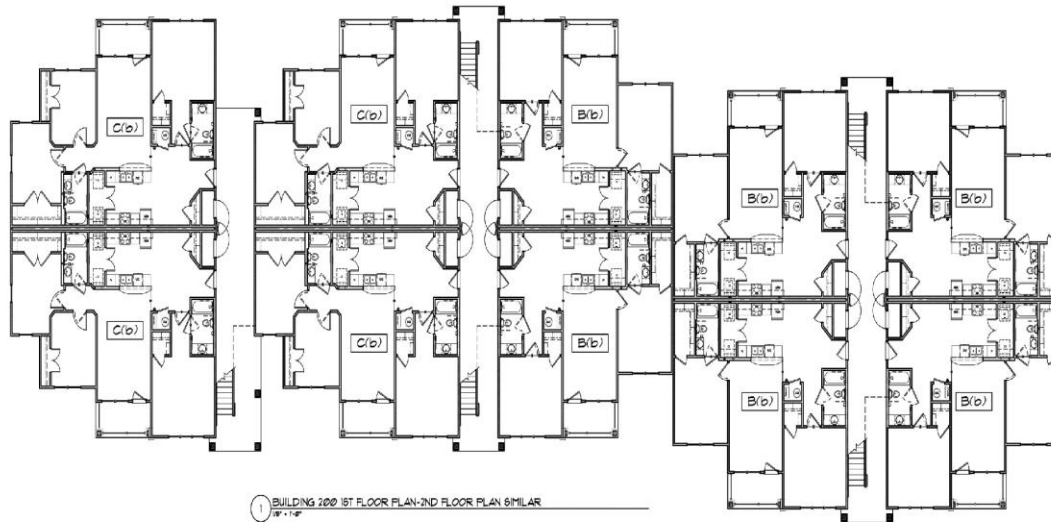
2 BUILDING 100 2ND FLOOR PLAN- 3RD FLOOR PLAN SIMILAR
1/8" = 1'-0"



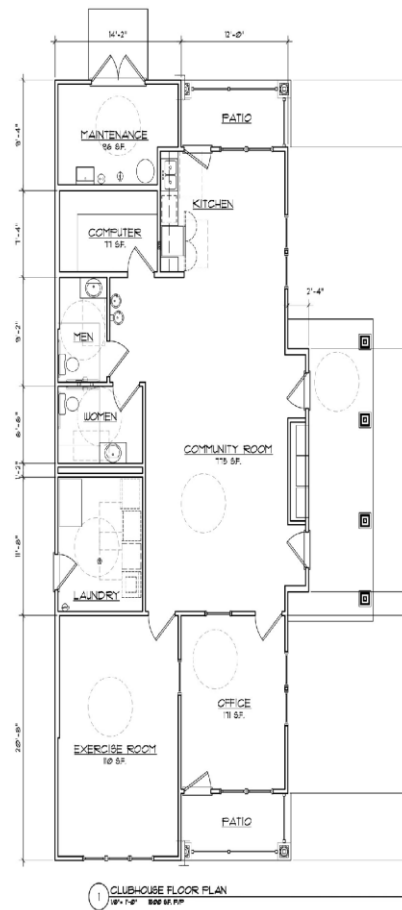
1 BUILDING 100 1ST FLOOR PLAN W/ CLUBHOUSE/OFFICE
1/8" = 1'-0"

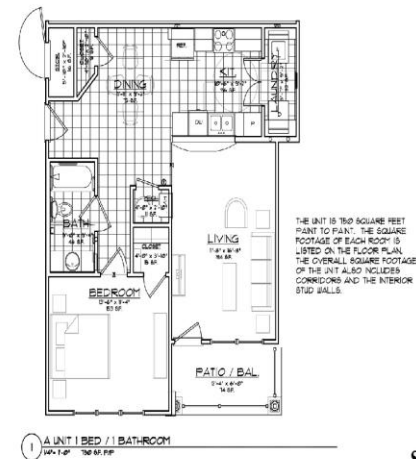
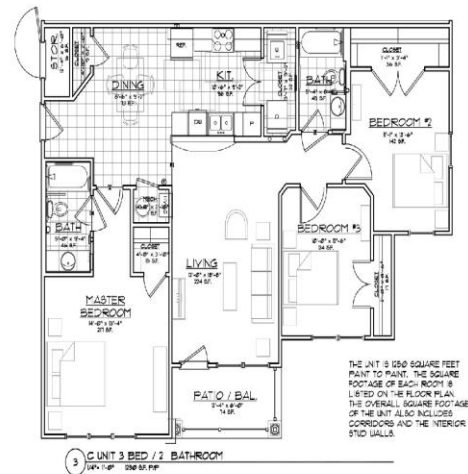
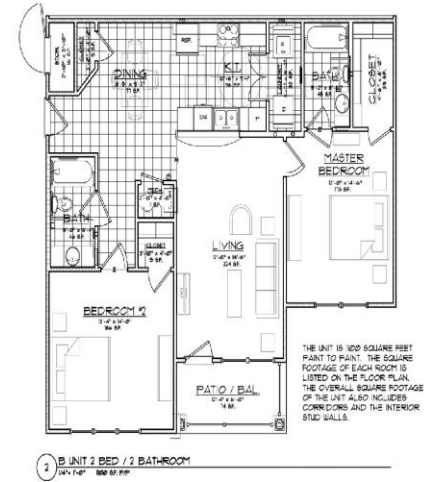


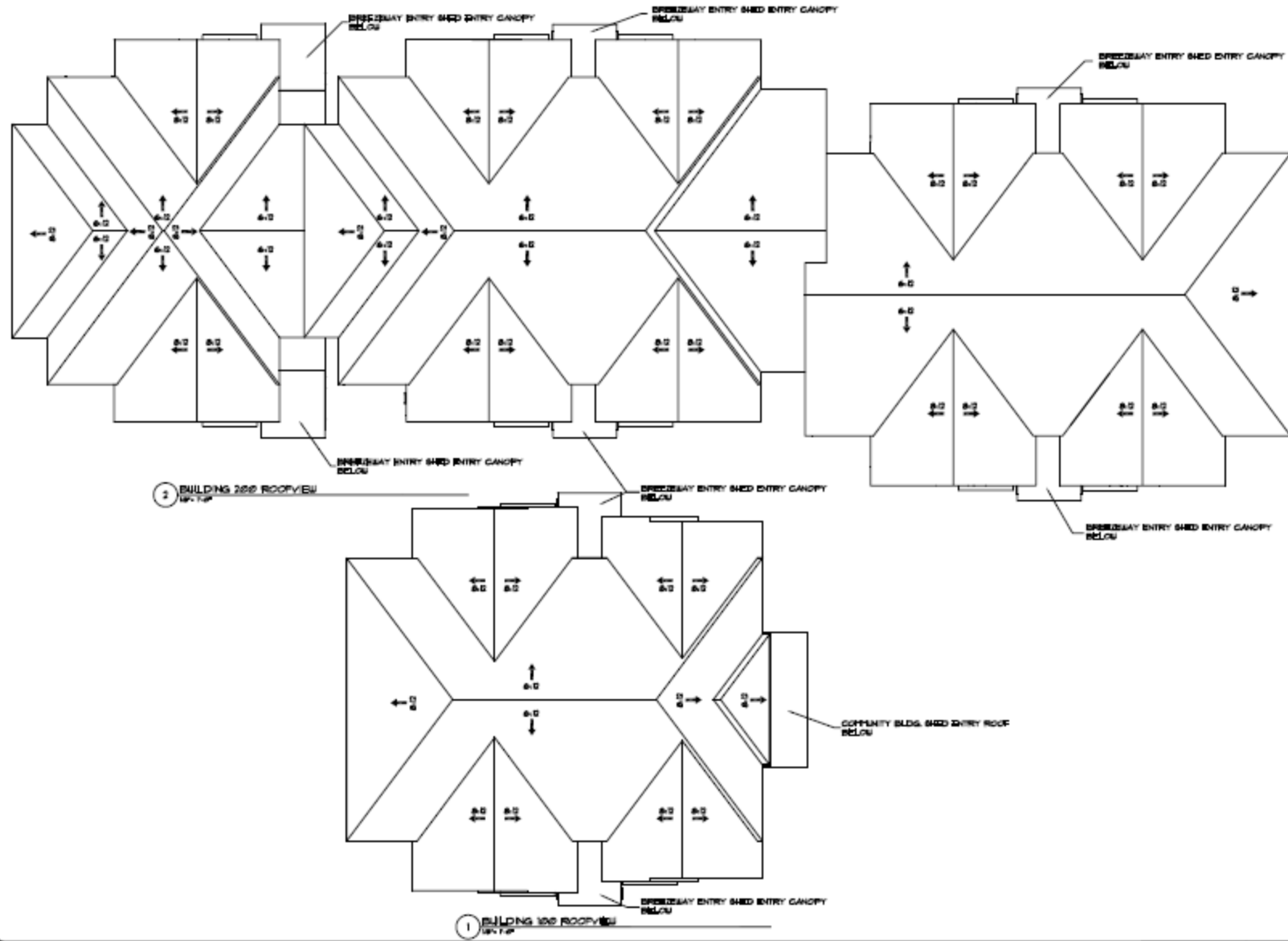
2 BUILDING 200 3RD FLOOR PLAN
1/8" = 1'-0"



1 BUILDING 200 1ST FLOOR PLAN-2ND FLOOR PLAN SIMILAR
1/8" = 1'-0"







VERA

MARTIN RILEY ASSOCIATES - ARCHITECTS P.C.
25 CHURCH STREET SUITE 301 DECATUR GEORGIA 30030 404-253-2894

CASCADE APARTMENTS
2500 W. 42ND ST. CHICAGO

NOT RELEASED FOR CONSTRUCTION

